

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

PROJECT SPECIFICATION
Building Control Officer's Logbook

This application has been approved in terms of Section 7 (1) (a) of the Building Regulations of 1977, subject to the conditions in the attached letter of approval.

All work to be carried out strictly in accordance with the Model Preambles for Trades as recommended and published by the Association of South African Quantity Surveyors, (latest available edition) and shall be deemed to be incorporated herein.

SUSPENDED GROUND FLOOR SLABS: Floor finish as indicated on plans on min. 30mm cement screed on RC. slab to engineer's details. Provision to be made for openings in slab for water reticulation, drainage and electrical points.

All RC columns and beams to engineer's design.

STAIRS: RC. Stairs to be detailed, to engineer's spec.
Tread size = 250mm min.
Max. riser size = 200mm.

UPPER FLOOR SLABS: Floor finish as indicated on plans on min. 50mm cement screed on RC. slab to engineer's details. Provision to be made for openings in slab for water reticulation, drainage and electrical points. All RC. columns and beams to engineer's design.

TERRACES & BALCONIES: Floor finish as indicated on plans on applied waterproofing membrane on min. 30mm cement screed to min 1:100 falls on RC. slab to engineer's design. Min. 100mm deep weather step between internal and external slabs.

LINTELS: Prestressed, precast concrete lintels as supplied by "Allied concrete" (or similar) to be used over openings no more than 3000mm wide, with min. 4 brick courses above. Prestressed concrete lintels Type A.P.S. as supplied by "Allied Concrete" (or similar) to be used above all openings not more than 3000mm wide. Lintels shall be 300mm longer than the width of the opening unless otherwise specified. Lintels in cavity walls shall be of different widths, the internal lintel 150mm wide and the external lintel 110mm wide. the stepped DPC. shall pass between the two lintels. Lintels in 110 and 230mm walls shall be the full width of the wall.

BRICKWORK REINFORCEMENT: Brickforce to be used as per engineers specifications. COROBRIK Clay bricks through

INTERNAL WALLS:
To be 110mm free standing and 220mm loadbearing walls, unless otherwise specified.

EXTERNAL WALLS:
To be 230mm cavity walls with concrete filled cavities below ground floor and above roof level. Gable walls to be tied back to roof structure by GMS. straps built 300mm into brick work at 900mm c/c and securely nailed to battens.

WEEP HOLES: Min. 75x8mm wide weep holes to be provided below all cills and above all slabs, openings and other bridges to cavity, to be neat and evenly spaced at max. 900mm c/c.

WIRE TIES: GMS wire wall ties shall be built into any cavity wall at a rate of 2.5 ties per sqm.

WATERPROOFING: 375 micron Polyethylene Stepped horizontal DPC below all cills and above all slabs, openings and other bridges to cavity walls and vertical DPC to sides of all openings. 375 micron damp course under walls at min. 150mm above adjacent ground level. Lower lip of 375 micron damp proof course under cavity wall must be min. 150mm above finished ground level and cavity beneath DPC must be concrete filled. 375 micron Polyethylene continuous DPM below all surface beds.
250 micron UT Polyethylene sheet underlay below roofing covering to all pitched roofs.
Flat roof waterproofing as per details

AIRBRICKS: Provide 2 airbricks to all habitable rooms.

DOORS & WINDOWS: All doors, windows and frames to be purpose made of aluminium, by specialist supplier as indicated on drawings

GLAZING: 6mm thick safety glass to be used throughout. 6mm thick safety glass to be used in all sections greater than 1sqm or closer than 1000mm to the floor, to comply with N(1), (2) of the N.B.R. All glazing to comply with requirements of SABS 0137 - access doors and side lights to have safety glass. Windows lower than 500mm from floor or lower than 1800mm above pitch line of stairs and shop fronts to have safety glass.

- ALL GLAZING TO COMPLY WITH SANS 10 400- PART N

PLASTERBOARD CEILINGS: Skimmed and Painted 12mm plasterboard fixed to 50x38mm SA pine ceiling branders at max 400mm c/c.
RC. CEILINGS: Cleaned with exposed concrete finish.
CEILING INSULATION: Min 104mm thick "cavitybat" (or similar) roof insulation to be installed above all plasterboard ceilings. REFER TO CEILING PLAN & DETAILS

RAINWATER GOODS: sizes of rainwater goods to be calculated prior to and construction PVC RW DOWNPIPE: 100mm dia. uPVC down pipes RC. to discharge into stormwater system
FULLBORE OUTLETS: PVC fullbore outlets cast into RC. slabs in positions as indicated on plans to eng.

PITCHED ROOF: Seamlok 700 roof sheeting laid to manufacturer's specification on PVC underlay on 50x50mm S.A. pine battens at max. 900mm c/c to suit on SA pine trusses to engineer's design at max. 750mm c/c. Truss ends to be tied down onto 114x38mm wallplate with 30x1,2mm GMS straps embedded 600mm into brickwork or concrete. GMS straps shall be taken up over the two of the truss, bent down on the other side and nailed down from both sides.

TIMBER GENERAL: All timber shall be sawn die square, planed smooth and free from knots, blemishes and other imperfections. All timber to be light sanded prior to Painting. TIMBER ROOF STRUCTURE: see drawings

TIMBER ROOF STRUCTURE: see drawings

FLOOR FINISHES: as shown on plan

ELECTRICAL WORK: Electrical layouts to buildings to later design by architects.
Work to be carried out by qualified electrician.

PLUMBING & DRAINAGE: To comply with part P of N.B.R.
Soil pipes to be min. 110 dia. uPVC.
Waste pipes to be min. 40mm dia. uPVC.
Stubstack to be 110mm dia. uPVC.
Open vent pipe to be 50mm dia. uPVC.
75mm deep seal traps to all fittings.
All pipes to have min. 1:60 falls.
* The solar water heating systems shall comply with SANS 1307 and SANS 10106, based on the thermal performance determined in accordance with the provisions of SANS 6211-1 and SANS 6211-2. The installation thereof shall comply with SANS 10254.
* Hot water vessels and tanks shall be insulated with a material achieving a minimum R-value of 2.0.
* Insulation on vessels, tanks and piping containing cooling water shall be protected by a vapour barrier on the outside of the insulation

PLASTERING: All visible brickwork walls and cills are to be plastered and Painted as indicated on elevations.
INTERNAL: one coat lime/cement smooth, 12-15mm thick.
EXTERNAL: one coat lime/cement stippled, 12-15mm thick. CILLS: to be plastered to match walls.
Rough plaster where indicated to later specifications.
Expansion joints to plaster between concrete & masonry to be v-joints.

TILING: Glazed ceramic wall file as per details.

PAINT WORK: All Paintwork internal and external is to be of good quality by "DULUX" (or similar) to be applied to manufacturer's specification.

BALUSTRADES: ALL BALUSTRADES 1m MINIMUM ABOVE FFL AND SHALL NOT CONTAIN OPENING THAT WILL PERMIT THE PASSAGE OR A 100mm DIAMETER BALL

AREA SCHEDULE:

SITE: 1221m²

BASEMENT FLOOR : 150m²

COVERED GROUND FLOOR : 268m²

NIA ground floor : 189m²
Covered Entertainment area 1 : 21m²
Pool patio: 28m²
Breakfast terrace: 23m²
entrance canopy : 7m²

FIRST FLOOR : 203m²

NIA first floor : 200m²
covered deck master bed : 3m²

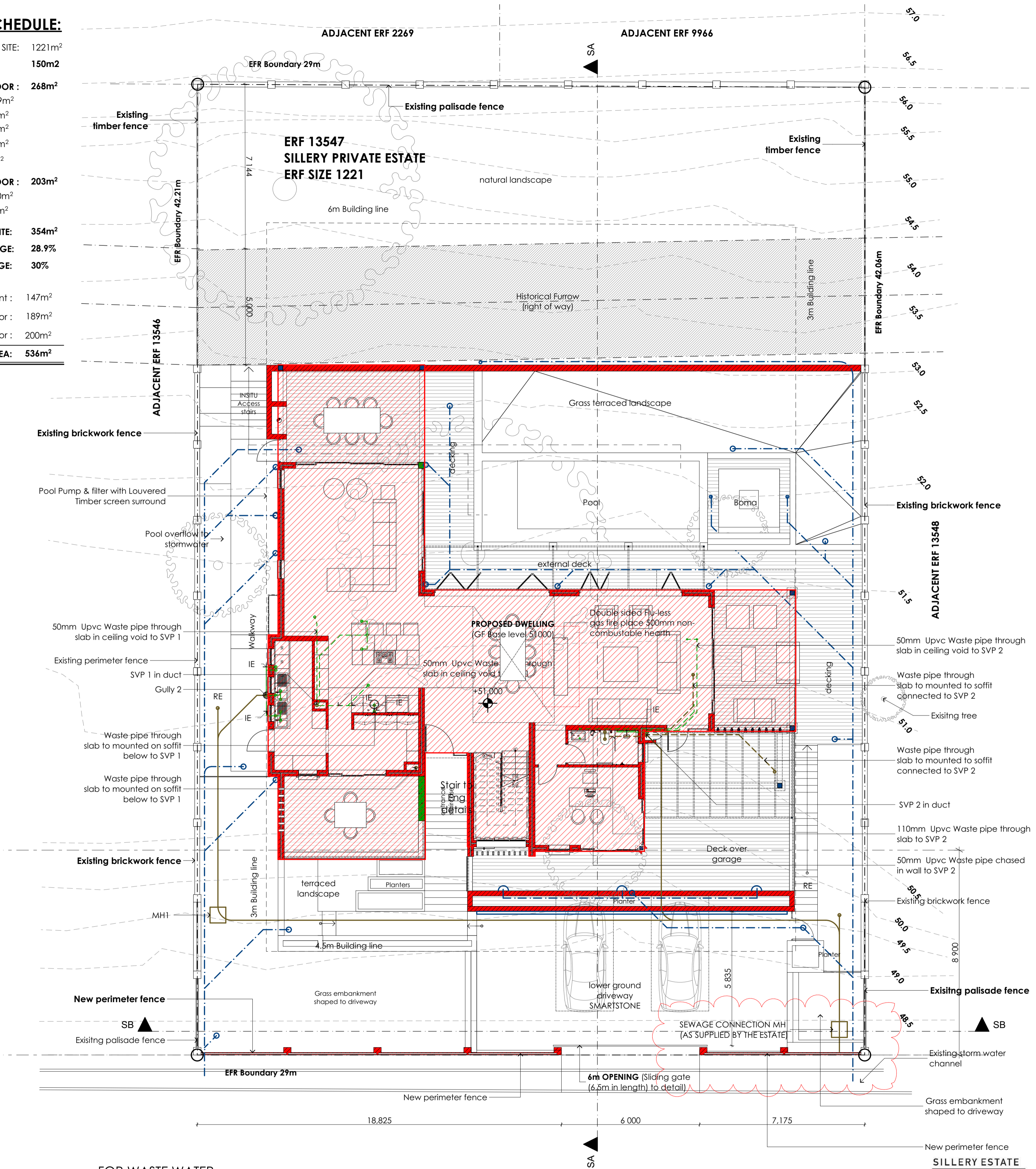
PROPOSED COVERED AREA OF SITE: 354m²

COVERAGE: 28.9%

MAX ALLOWABLE COVERAGE: 30%

NIA basement : 147m²
NIA ground floor : 189m²
NIA first floor : 200m²

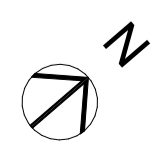
NET INTERNAL AREA: 536m²



FOR WASTE WATER
SEE DRAWING L10_100 TO L10_110
FOR STORM WATER SEE DRAWING L10_400

BASE LEVEL 51000m
HEIGHT RESTRICTION 11m

1. SITE PLAN
Scale 1:100



SILLERY ESTATE
DESIGN
SUPPORT
SILLERY ERF 13547 | PLOT 12
14-06-2022
DATE ISSUED
tv3
REGISTERED ARCHITECT AND TOWN PLANNERS
REGISTERED IN THE REPUBLIC OF SOUTH AFRICA

GENERAL

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- Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

Rev	Date	By	Description
P1	200919	WT	For information
P2	221017	WT	Additional notes added
P3	221128	WT	Sewage connection note added

DRY INK
Architects

Dry Ink Architects (Pty) Ltd. Registration Number: 2017 / 006878 / 07
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WAYNE TERRY (PrArch 24714089)

PROFESSIONAL ARCHITECT
WAYNE BERTRAM TERRY
2589 080 (Pretoria) | 08 May 2022

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-1A on SANS 204

Architect: *Wayne Terry*

Approval by Representative

Stefan Botha
Name of Client representative:
Stefan Botha
Signature of Client representative:
10/05/2022
Date:

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title
PROJECT SPECIFICATION AND SITE PLAN

Drawing status
COUNCIL SUBMISSION

Scale: 1:100 @ A1	Drawn by: WT
Date: 190508	Checked by: WT

Project No.:
DIA 0097

Drawing nr.:
L00_095

Rev nr.:
P3

DIA 0097_Team model Option 2_15_Arch 24.pln

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Submitted for Approval
Building Control Officer / Delegates

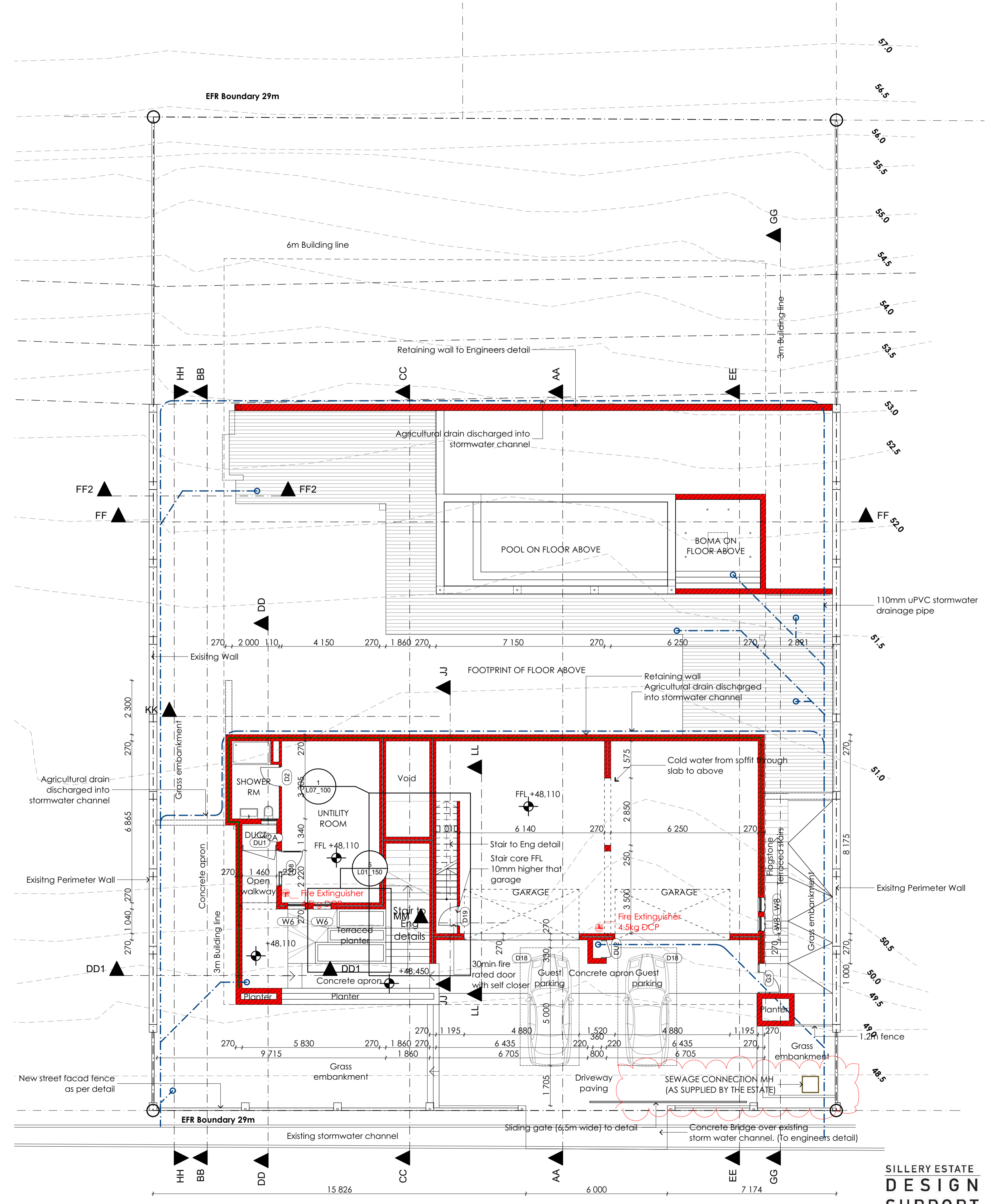
This application has been approved in terms of Section 7 (1) (a) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

19 Dec 2022
Date

Planning & Building
Development Management

Approval Number: 97624119

Application Number: 00070608310



3. BASEMENT PLAN
Scale 1:100

BASE LEVEL 51000m
HEIGHT RESTRICTION 11m

SILLERY ESTATE
DESIGN
SUPPORT
SILLERY ESTATE 13547 | PLOT 12

14-06-2022
DATE ISSUED

100% ARCHITECTURAL DRAWINGS FOR PERMITTED WITH LID

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REGISTERED ARCHITECT AND TOOK OVERSEAS
COUNTRIES AS TRADE REPRESENTATIVE

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Rev	Date	By	Description
P1	230222	WT	Issued for information
P2	221017	WT	Additional notes added
P3	221128	WT	Sewage connection note added

DRY INK
Architects

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18 Rendeshom Ave | Beirovito Kimberley 8301

WAYNE TERRY (PrArch 24714089)

POWERED BY
PRIVYSEAL

PROFESSIONAL ARCHITECT
WAYNE BERTRAM TERRY
25/01/08 (Pretoria) - 29 May 2022

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-IA on SANS 204

Architect: *[Signature]*

Approval by Representative

Stefan Botha
Name of Client representative:
[Signature]
Signature of Client representative:
Date: 10/05/2022

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title
BASEMENT PLAN

Drawing status
COUNCIL SUBMISSION

Scale: 1:100 @ A1	Drawn by: WT
Date: 220223	Checked by: WT
Project No.:	Drawing nr.:
DIA 0097	L01_100
DIA 0097_Team model Option 2_15_Arch 24.plt	Rev nr.:
	P3

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegates

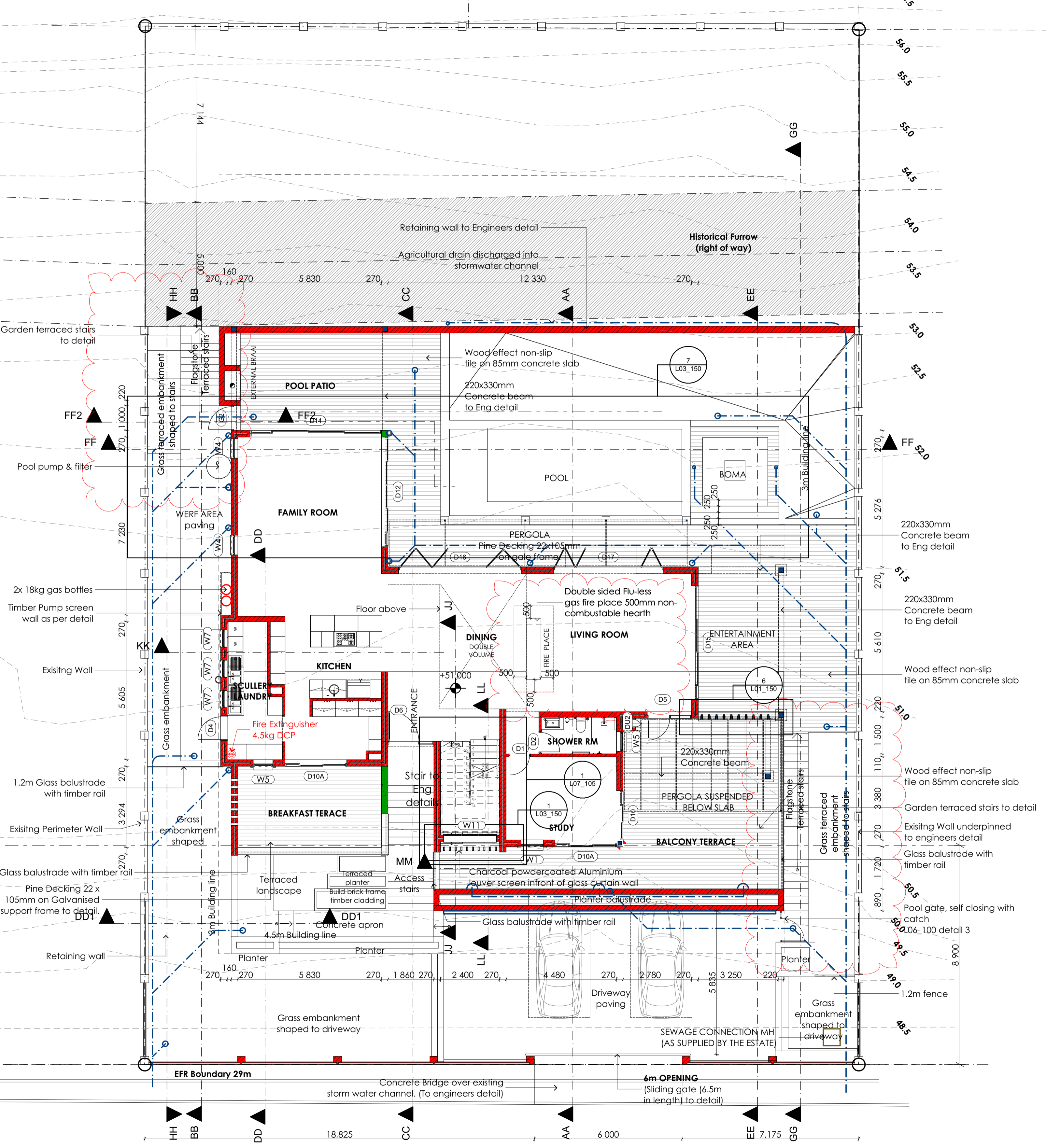
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19 Dec 2022
Date

Planning & Building
Development Management

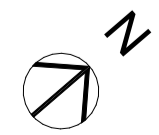
Approval Number: 97624119

Application Number: 00070608310



LP gas installation to comply with SANS 10 087

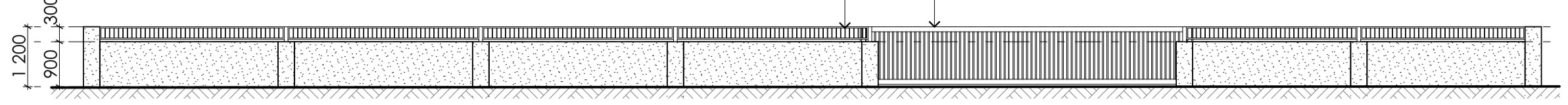
1. GROUND FLOOR PLAN
Scale 1:100



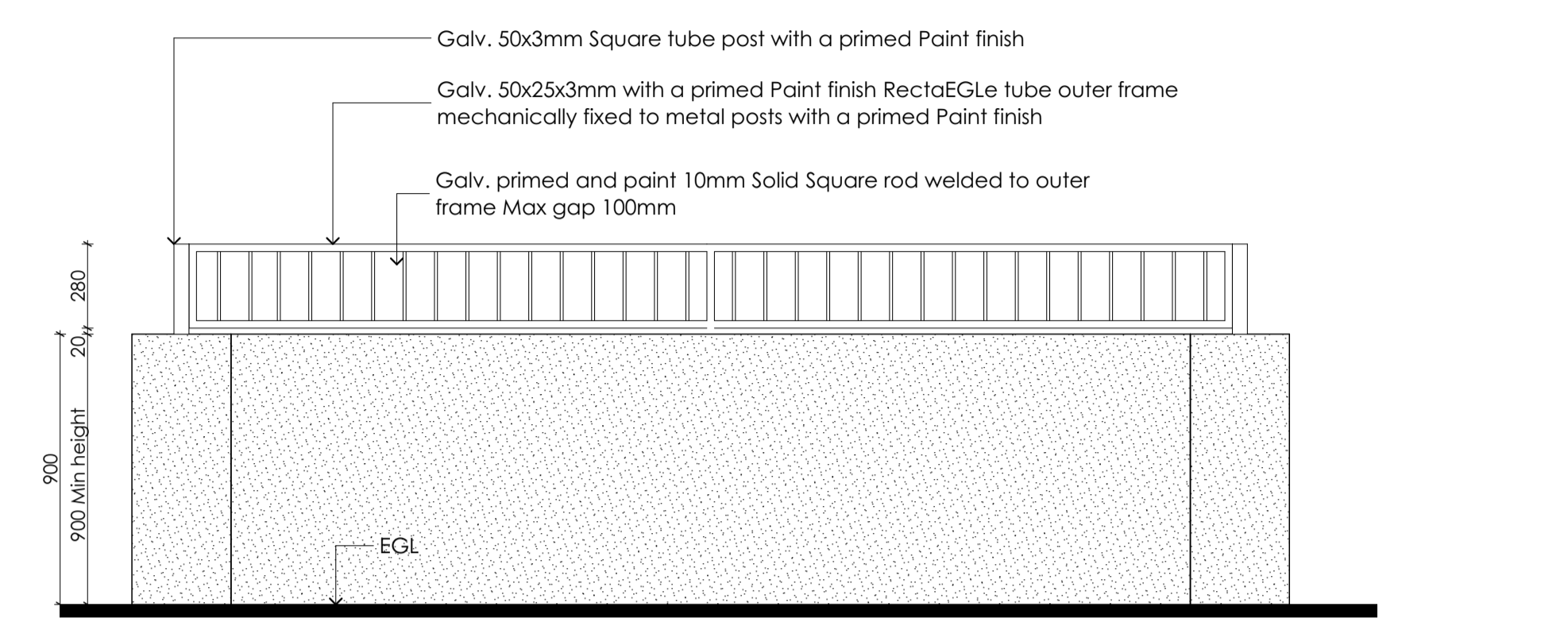
BASE LEVEL 51000m
HEIGHT RESTRICTION 11m

SLIDING GATE: Galv. 100x50x3mm with a primed Paint finish RectaEGLE tube outer frame with Galv. 50x25x3mm vertical rails with a primed Paint finish (SEE DETAIL)

Galv. 50x25x3mm with a primed Paint finish RectaEGLE tube outer frame mechanically fixed to metal posts with a primed Paint finish



1. STREET FENCE DETAIL -elevation



2. STREET FENCE DETAIL -plan

FLUELESS GAS FIREPLACE, DOUBLE SIDED BUILT-IN, STAINLESS STEEL WITH STONES



Description:

The double sided flueless gas fireplace is available in full stainless steel or high heat powder coated black. The double sided fireplace is ideal for areas where you want to enjoy one fireplace from two rooms. A double sided fireplace is a great way to divide a large room into two separate zones for example between your living and dining room. The double sided vent free gas fireplace is easy to assemble and comes in three parts.

The burner, the firebox and the fascias. All of the parts can be easily assembled DIY but your gas connection must be done by a registered LPOSA installer. A flueless gas fireplace may not be installed into a bedroom.

*** Price excludes parts and installation cost. To be quoted separately depending on installation requirements.

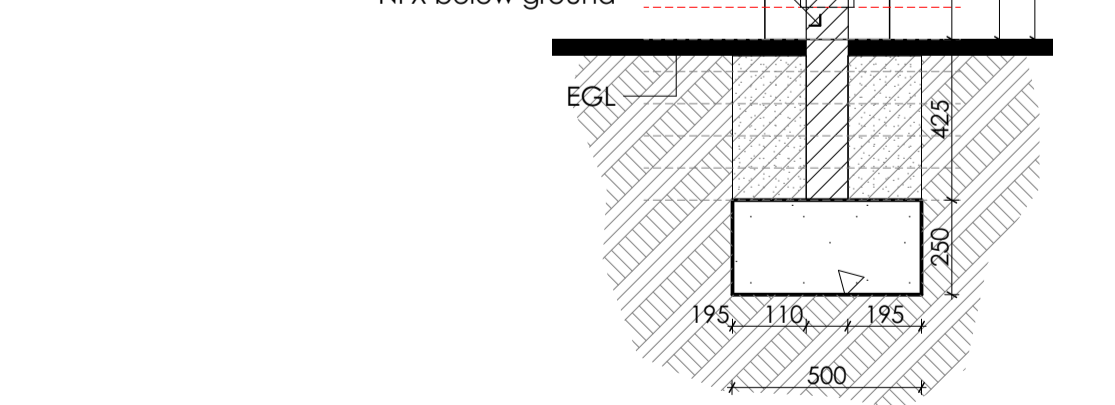
50x25x3mm RectaEGLE tube outer frame mechanically fixed to brick piers with a primed paint finish

10mm Solid Square rod vertical posed welded to outer frame with a primed & painted finish. Max gap 100mm

Plastered coping sloped 20mm to 15mm toward house

Plastered wall 1 coat cemfix before paint is applied
Soldier brick coping with a paint plaster finish

Corobrik Montana travertine 2 courses above & below EGL
NFX below ground



3. STREET FENCE DETAIL -section

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Rev	Date	By	Description
P1	230222	WT	Issued for information
P2	221018	WT	Fireplace note added

DRY INK Architects

Dry Ink Architects (Pty) Ltd. Registration Number: 2017/006878 / 07
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WAYNE TERRY (PrArch 24714089)

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PROFESSIONAL ARCHITECT
WAYNE BERTRAM TERRY
24714089 (PrArch) (Registered on 29 May 2012)

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-IA on SANS 204

Architect: *Wayne Terry*

Approval by Representative

Stefan Botha
Name of Client representative:

Signature of Client representative: *Stefan Botha*

Date: 10/05/2022

Project: **PROPOSED NEW DWELLING**

Client: **Growthtime Construction Pty Ltd**

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title
GROUND FLOOR PLAN & STREET FENCE

Drawing status
COUNCIL SUBMISSION

Scale: 1:100 @ A1	Drawn by: WT
Date: 220223	Checked by: WT

Project No.: **DIA 0097** Drawing nr.: **L01_105** Rev nr.: **P2**

DIA 0097_Team model Option 2_15_Arch 24.pln

SILLERY ESTATE
DESIGN SUPPORT
SILLERY ERF 13547 | PLOT 12

153 ARBOLWOOD DRIVE | SILLERY PRIVATE ESTATE | WESTERN CAPE

14-06-2022
DATE ISSUED

tv3
TV3 ARCHITECTS AND DESIGN

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegates

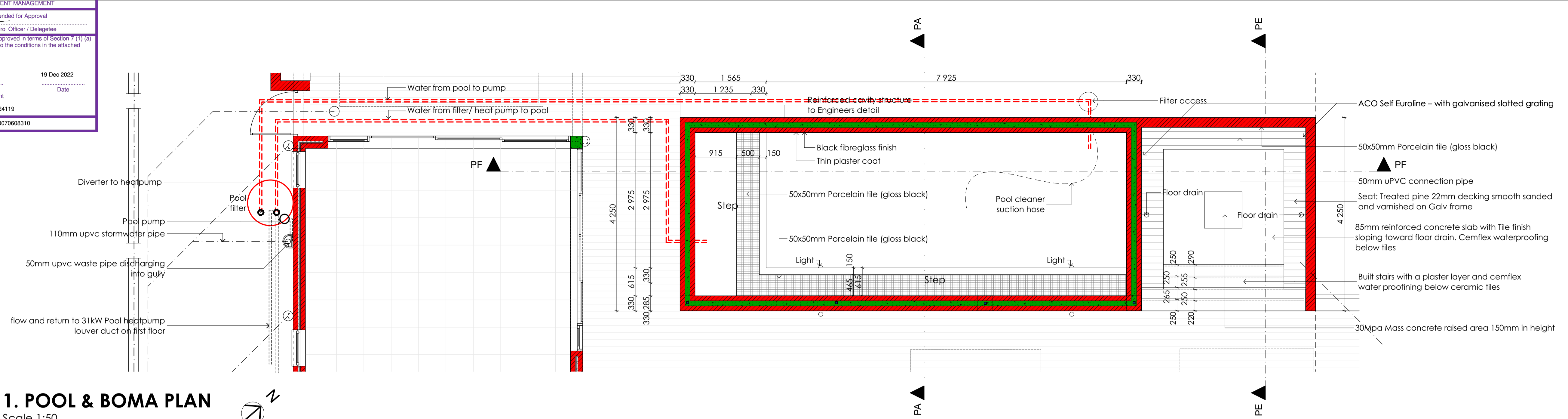
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19 Dec 2022
Date

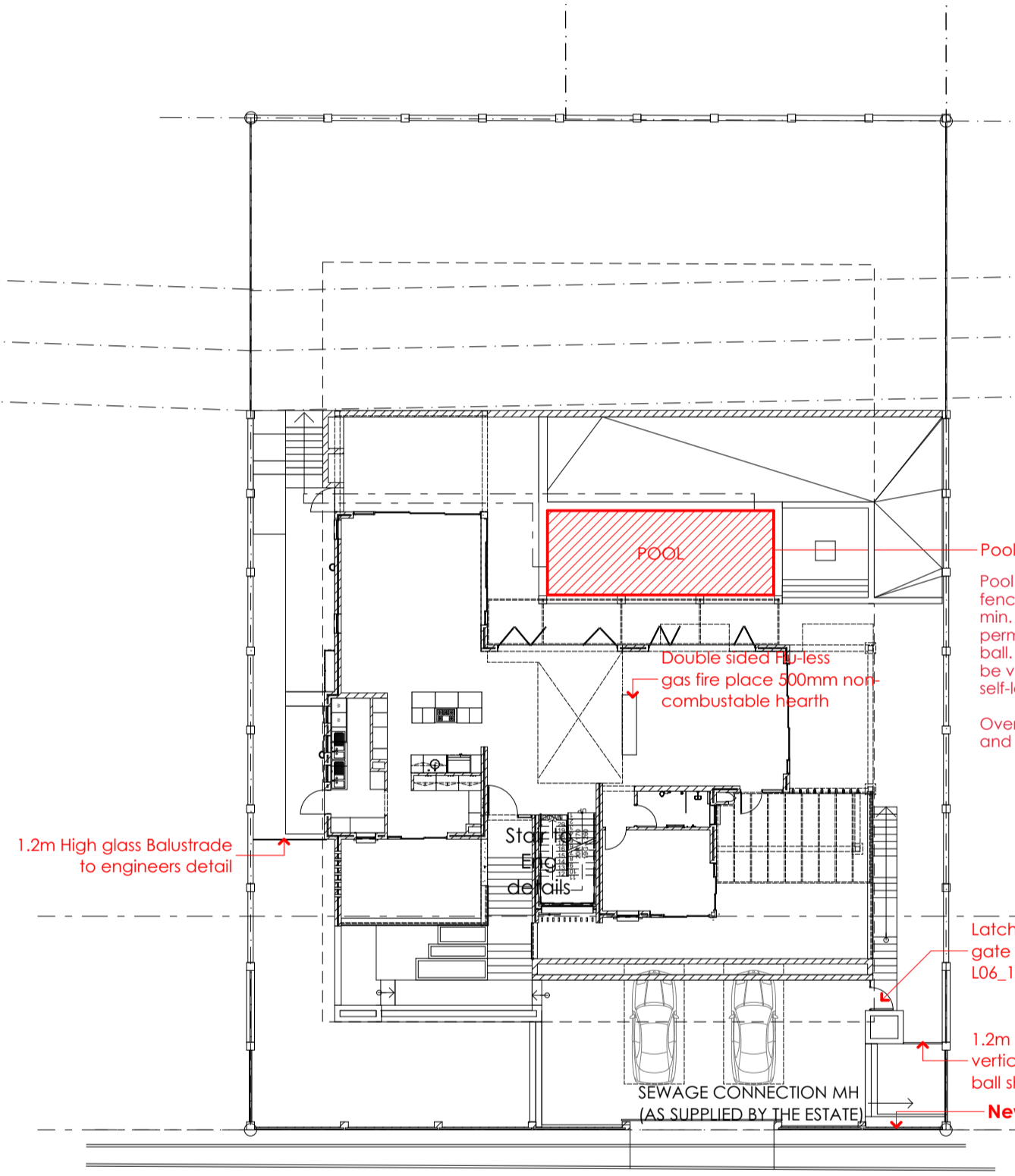
Planning & Building
Development Management

Approval Number: 97624119

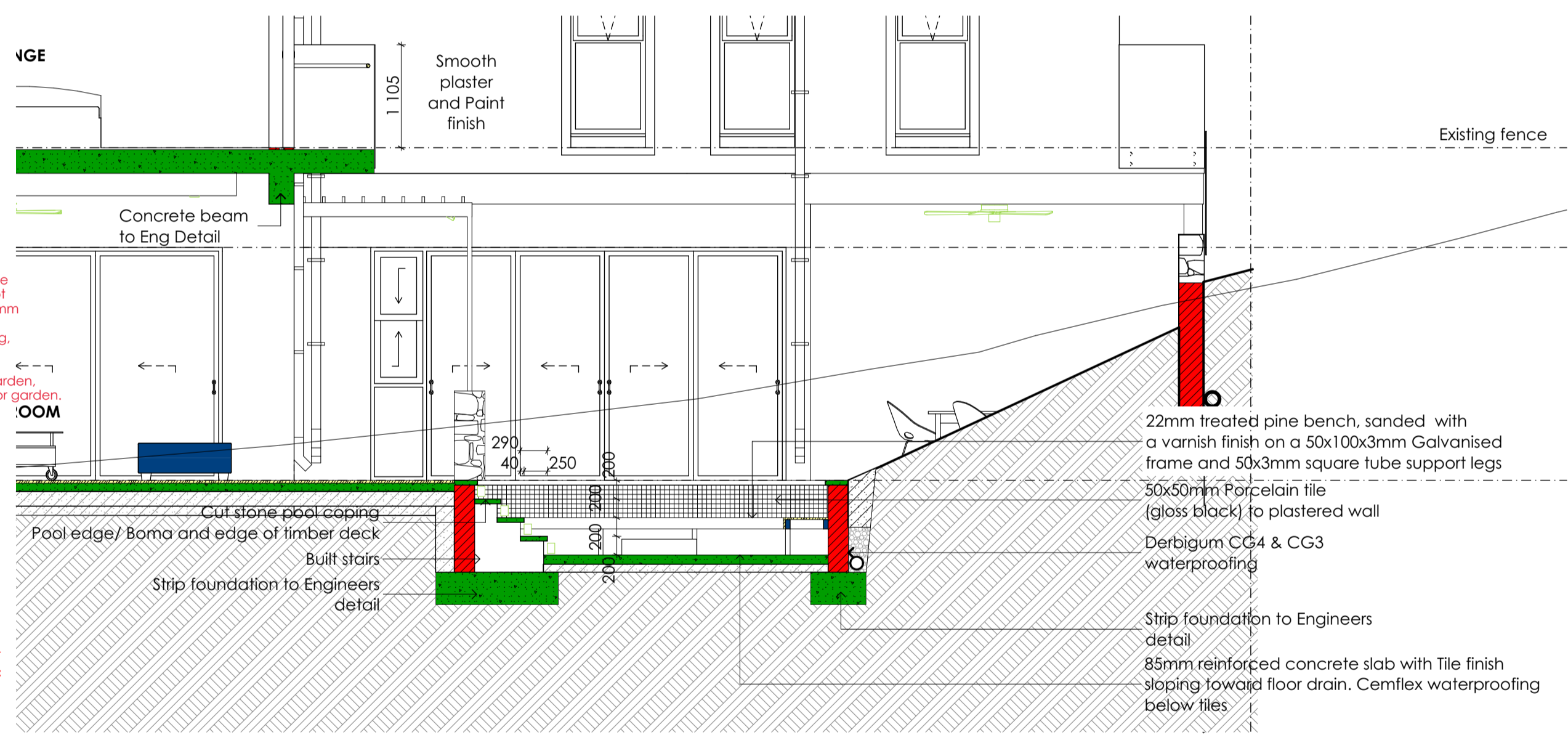
Application Number: 00070608310



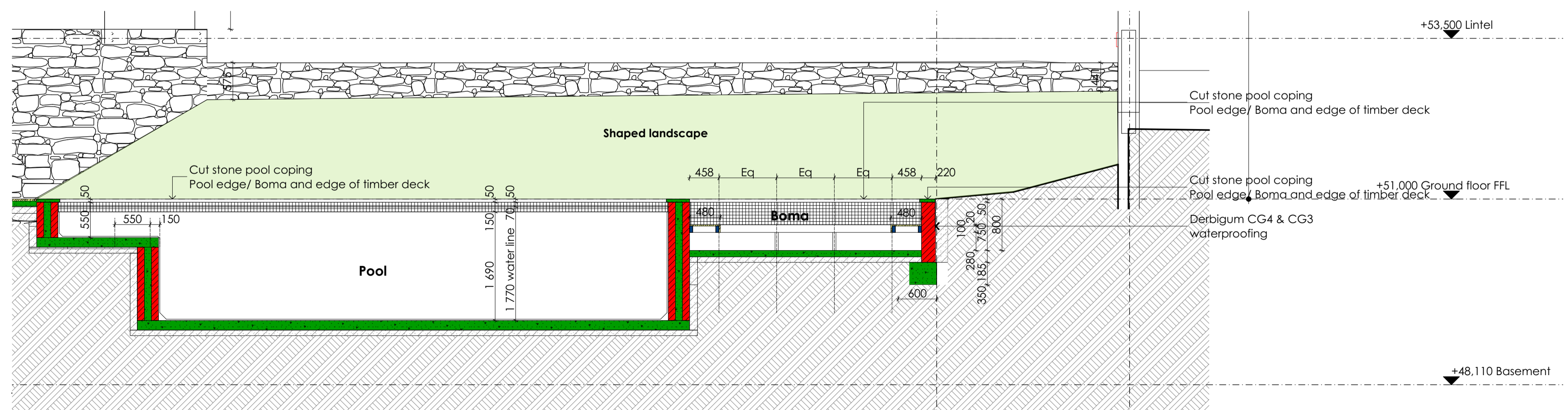
1. POOL & BOMA PLAN
Scale 1:50



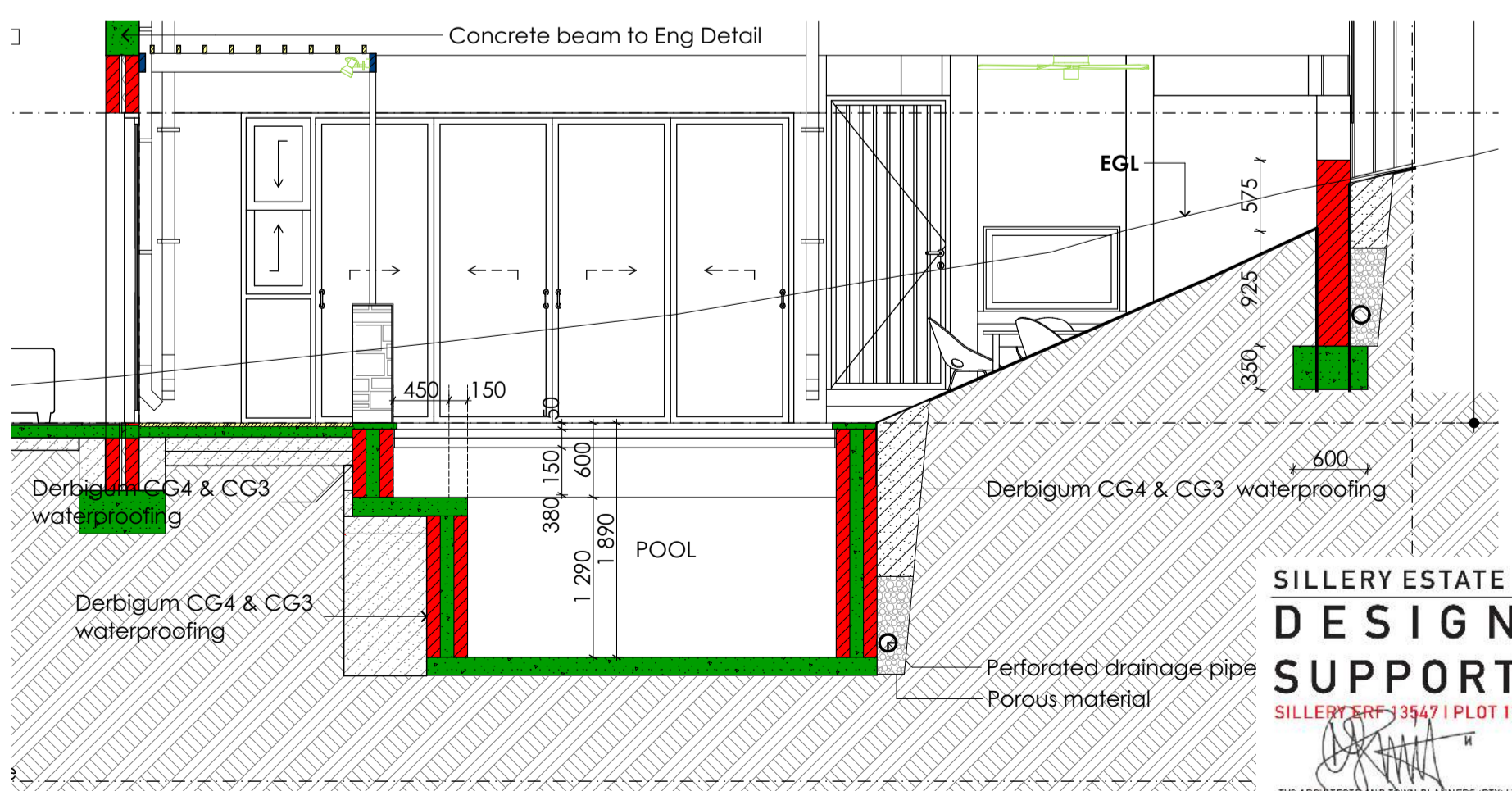
2. POOL SAFETY DIAGRAM
Scale NTS



3. POOL SECTION PE_PE
Scale 1:50



4. POOL/ BOMA SECTION PF_PF
Scale 1:50



5. POOL SECTION PA_PA
Scale 1:50

GENERAL

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P1	200919	WT	For information
P2	221017	WT	Additional notes added

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WAYNE BERTRAM TERRY

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Approval by Representative

Stefan Botha
Name of Client representative:

Signature of Client representative: *[Signature]*

Date: 10/05/2022

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title:
POOL AND BOMA PLAN

Drawing status:
COUNCIL SUBMISSION

Scale:
1:100 @ A1

Date:
220223

Project No.:
DIA 0097

Drawing nr.:
L01_120

Rev nr.:
P2

DIA 0097_Team model Option 2_15_Arch 24.ppt

SILLERY ESTATE DESIGN SUPPORT

SILLERY ERF 13547 | PLOT 12

170 ARCHITECTS AND TOWN PLANNERS (PT) LTD

14-06-2022 DATE ISSUED

tvb
ARCHITECTS AND TOWN PLANNERS

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegates

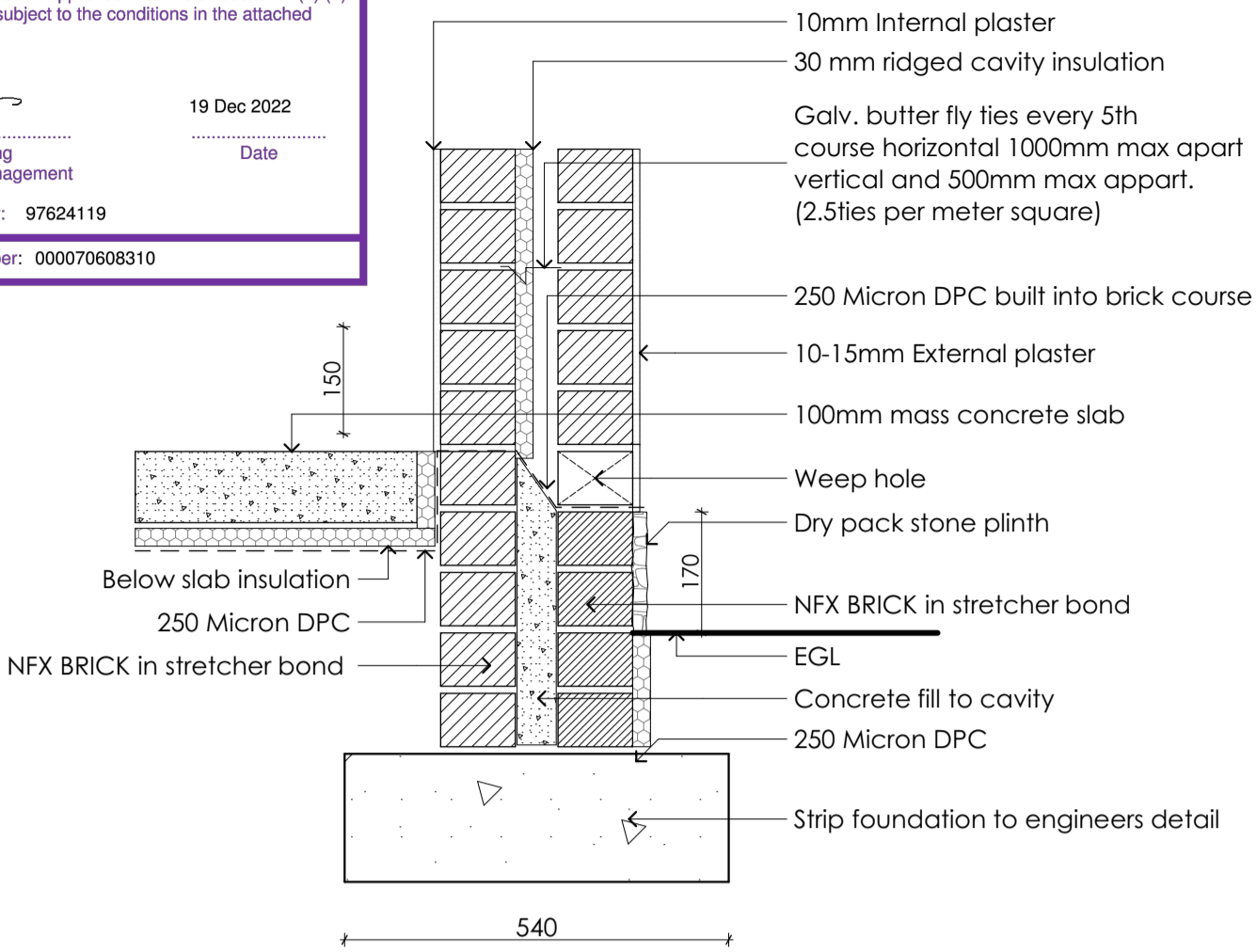
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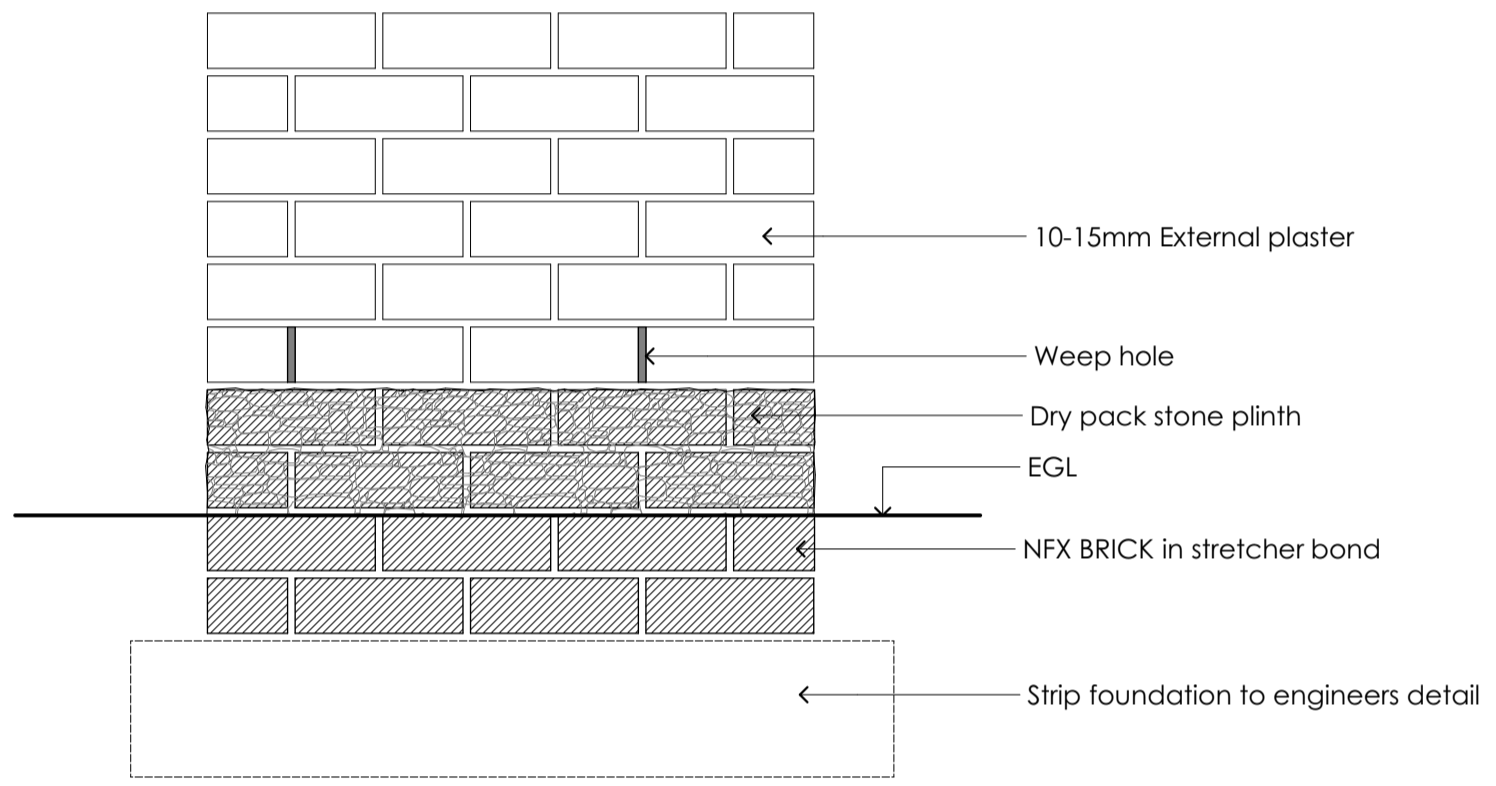
Planning & Building
Development Management

Approval Number: 97624119

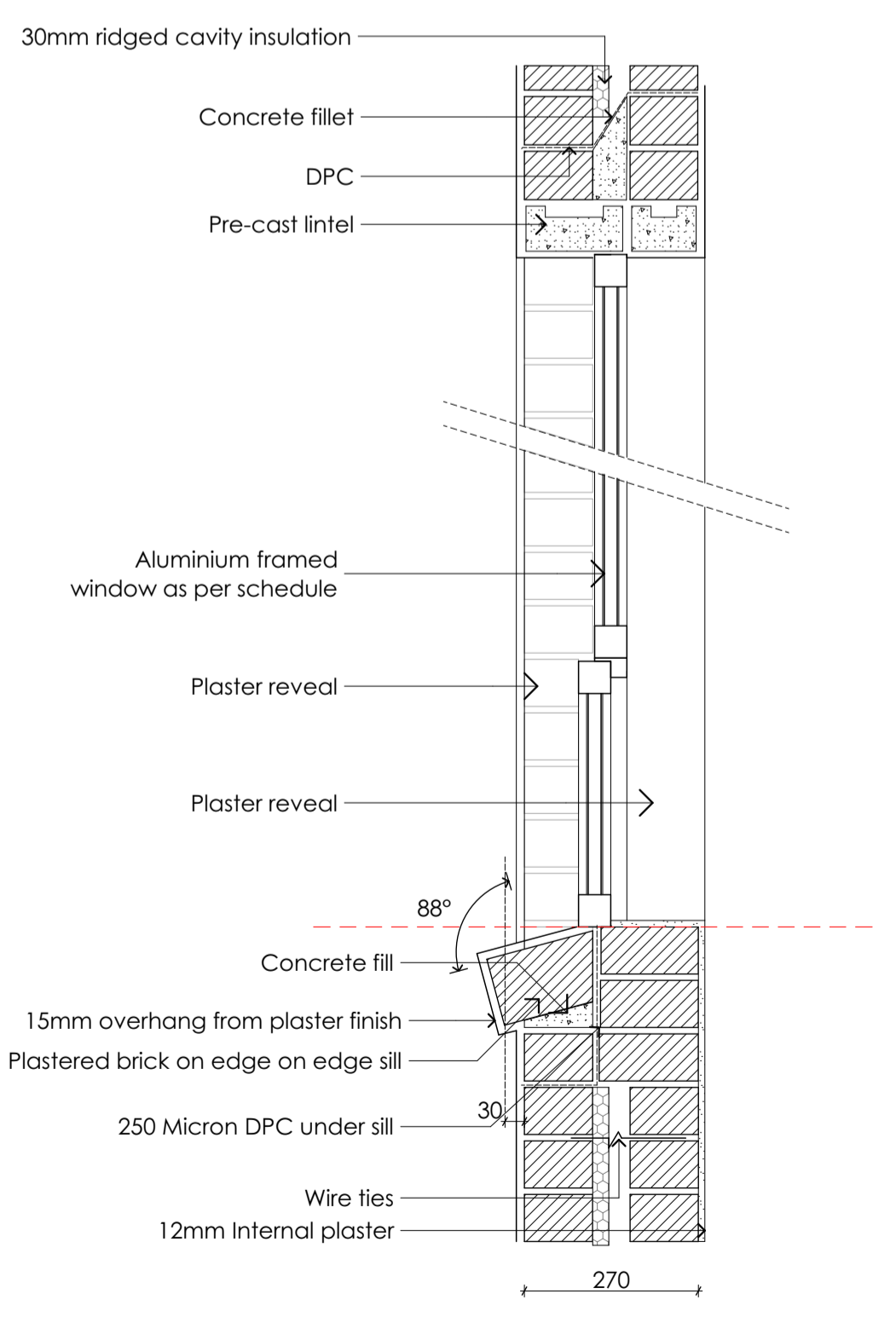
Application Number: 00070608310



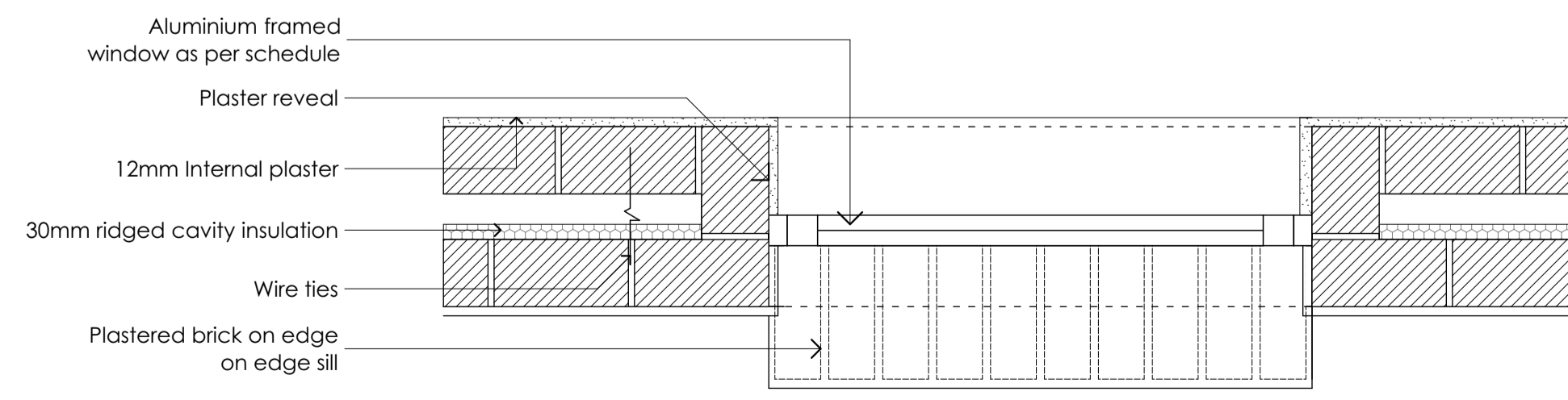
1. 270mm TYPICAL CAVITY WALL SECTION
Scale 1:10



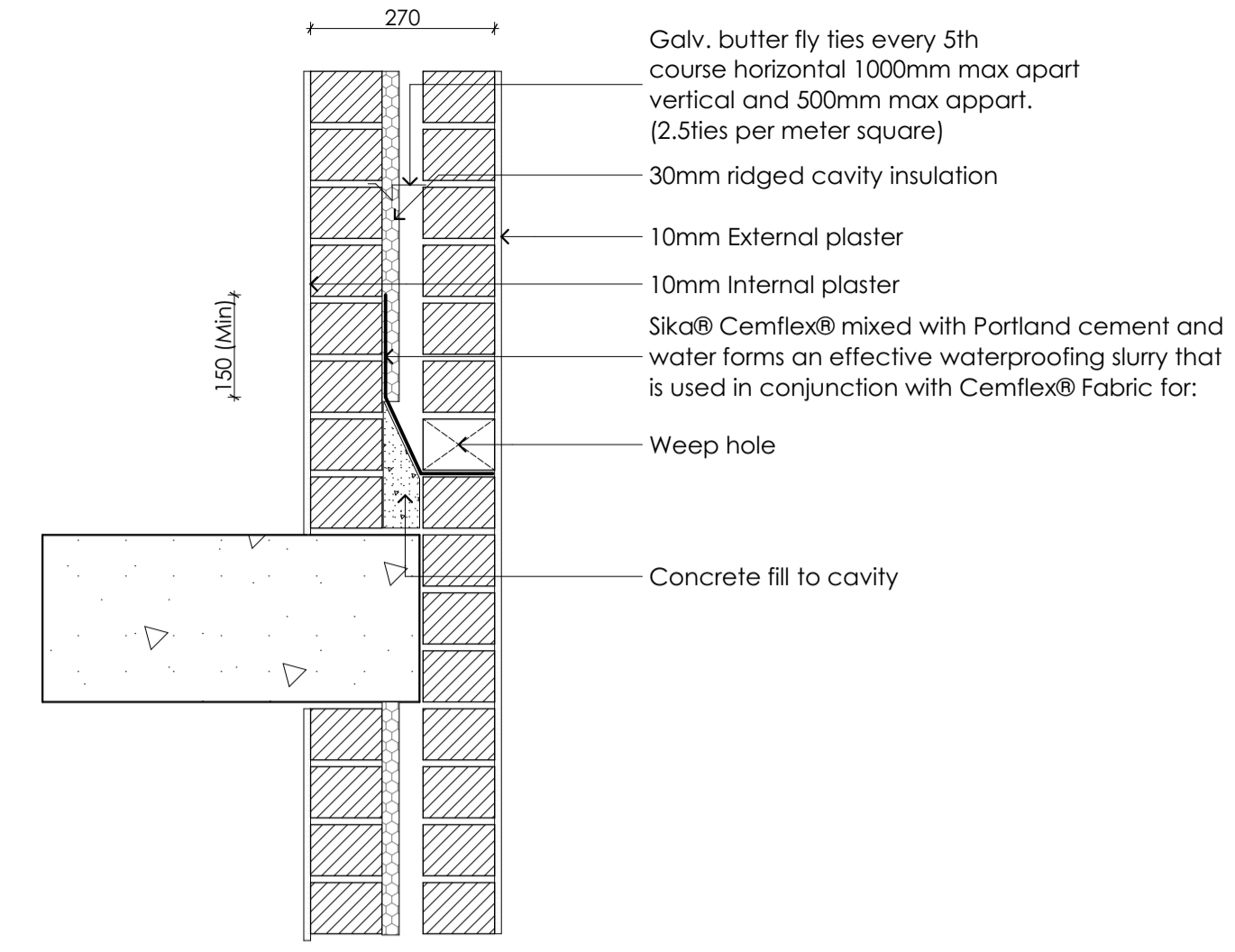
3. 270mm TYPICAL CAVITY WALL ELEVATION
Scale 1:10



4. WINDOW IN CAVITY WALL SECTION
Scale 1:10

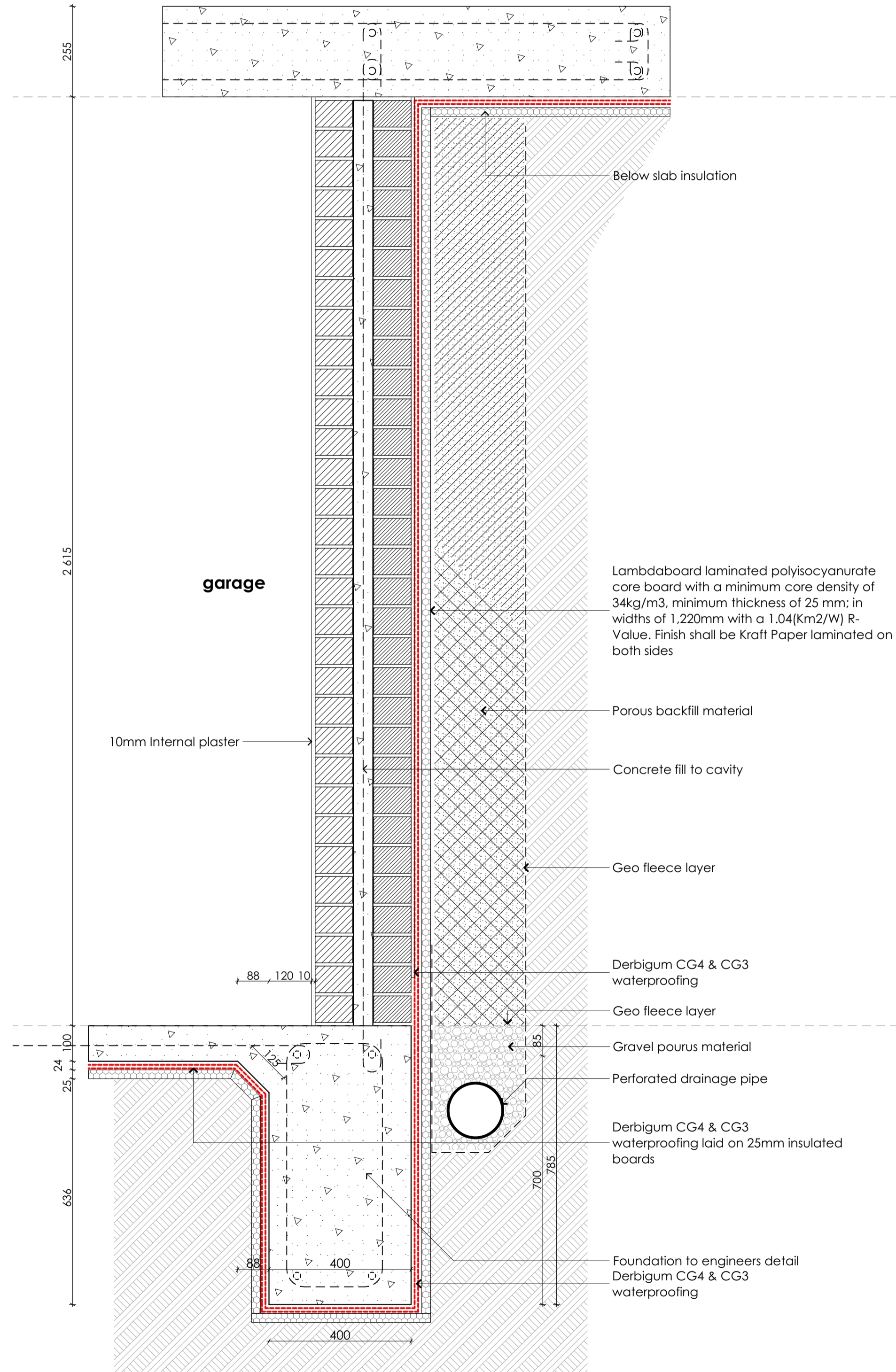


5. WINDOW IN CAVITY WALL PLAN
Scale 1:10



2. 270mm TYPICAL SLAB RETAINING DETAIL
Scale 1:10

- GENERAL NOTES:**
- 1) 10mm DEEP SQUARE RECESSED HORIZONTAL AND VERTICAL JOINTS WITH CEMENT MORTAR TO MATCH COLOUR OF BRICKWORK.
 - 2) WINDOW CILLS TO BE FACE BRICK ON EDGE WITH HOLES NEATLY FILLED WITH CONCRETE AT SIDES, FACE BRICK ROLLER COURSE OVER ALL WINDOWS, DOORS AND OPENINGS.
 - 3) BRICK FORCE: EVERY COURSE UP TO FFL AND EVERY 4th COURSE THEREAFTER, EVERY COURSE ABOVE ALL OPENINGS, EVERY 4th COURSE AT GABLES.
 - 4) CAVITY WALLS - 110mm BRICK FORCE WITH BUTTERFLIES. ENSURE PROPER OVERLAPS OF BRICK FORCE GALV. BUTTER FLY TIES EVERY 5TH COURSE HORIZONTAL 1000mm MAX APART VERTICAL AND 500mm MAX APART. (2.5TIES PER METER SQUARE)
- A) MORTAR MIX: 5MPA, MIXING RATIO 1:4
B) PLASTER MIX: MIXING RATIO 1:5 ABOVE DPC



Waterproofing to be one layer of Derbigum CG4 on one layer Derbigum CG3 waterproofing membrane, with 100mm side laps and 150mm end laps, sealed to primed surface by "torch-fusion", to receive protection or drainage layer and compacted fill (elsewhere specified by engineer). Waterproofing to be installed by an Approved Derbigum Contractor.

6. 270mm TYPICAL BASMENT CAVITY WALL DETAIL
Scale 1:10

GENERAL

200919 WT For information

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P1	200919	WT	For information

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Tel: +27 76 7943031 Email: wayne@dryinkarchitects.co.za
18 Rendesham Ave 1 Belgravia Kimberley 8301

WAYNE TERRY (PrArch 24714089)

WAYNE BERTRAM TERRY (PrArch 24714089)

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-XA on SANS 204

Architect: *Wayne Terry*

Approval by Representative

Stefan Botha
Name of Client representative:
Stefan Botha
Signature of Client representative:
10/05/2022
Date:

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title:
WALL DETAILS

Drawing status:
COUNCIL SUBMISSION

Scale: 1:100 @ A1	Drawn by: WT
Date: 220223	Checked by: WT

Project No.: **DIA 0097** Drawing nr.: **L01_150** Rev nr.: **P1**
DIA 0097_Team model Option 2_15_Arch 24.p1h

SILLERY ESTATE DESIGN SUPPORT

SILLERY ERF 13547 | PLOT 12

159 ARCHITECTS AND DESIGN PLANNERS (Pty) LTD
14-06-2022
DATE ISSUED

tv3
REGISTERED AND TRAINED PLANNERS
REGISTERED ARCHITECTS AND DESIGNERS

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Submitted for Approval
Building Control Officer / Delegates

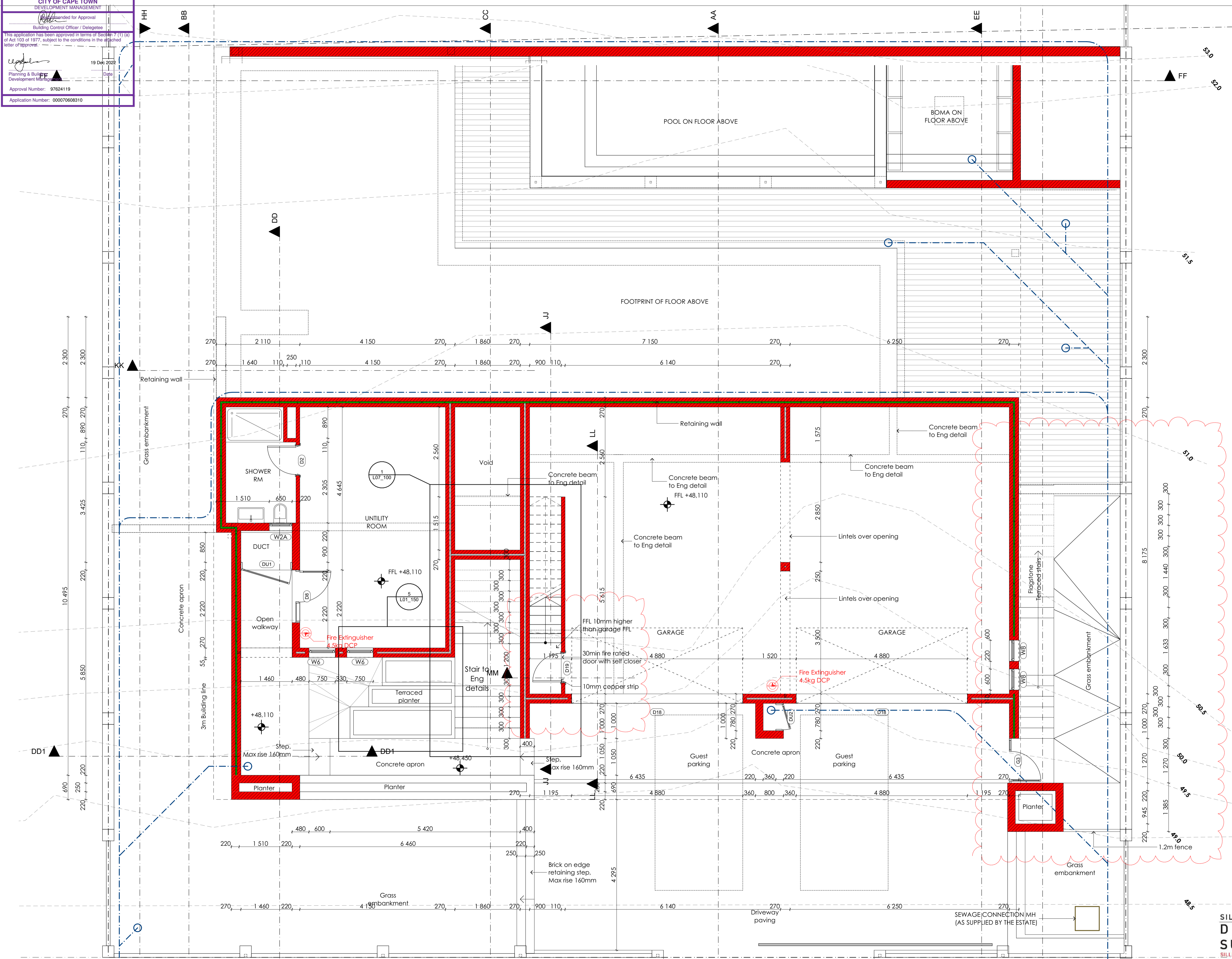
This application has been approved in terms of Section 7 (1) (a) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

19 Dec 2022
Date

Planning & Building
Development Management

Approval Number: 97624119

Application Number: 000070608310



1. BASEMENT PLAN
Scale 1:50

BASE LEVEL 51000m
HEIGHT RESTRICTION 11m

SILLERY ESTATE
DESIGN
SUPPORT

SILLERY ESTATE 13947 | PLOT 12

14-06-2022
DATE ISSUED

100% ARCHITECTURAL DRAWING FOR THE CLIENT'S USE ONLY

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GENERAL

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- Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

Rev	Date	By	Description
P1	200919	WT	For information
P2	221017	WT	Additional notes added

DRY INK Architects

Dry Ink Architects (Pty) Ltd. Registration Number: 2017/006878 / 07
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18 Rendelsham Ave 1 Belgravia Kimberley 8301

WAYNE TERRY (PrArch 24714089)

WAYNE BERTRAM TERRY (PrArch 24714089)

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-XA on SANS 204

Architect: *[Signature]*

Approval by Representative

Stefan Botha
Name of Client Representative:
[Signature]
Signature of Client Representative:
Date: 10/05/2022

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title
BASEMENT DETAIL PLAN

Drawing status
COUNCIL SUBMISSION

Scale: 1:100 @ A1	Drawn by: WT
Date: 220223	Checked by: WT

Project No.: **DIA 0097** Drawing nr.: **L01_200** Rev nr.: **P2**

DIA 0097_Team model Option 2_15_Arch 24.pht

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegate

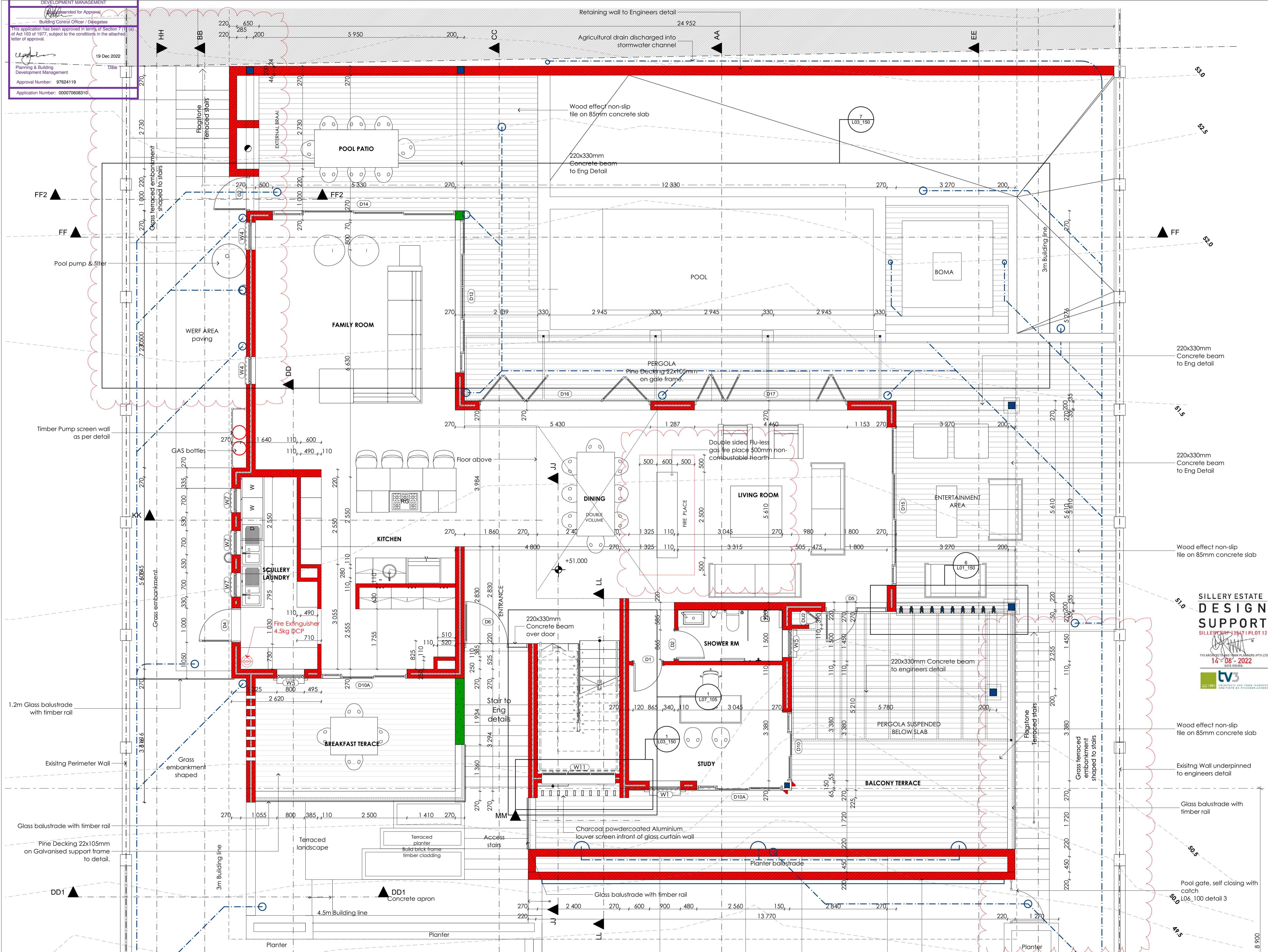
This application has been approved in terms of Section 7 (1) (a) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

19 Dec 2022

Planning & Building Development Management

Approval Number: 97624119

Application Number: 00070608310



1. GROUND FLOOR PLAN ↗ **BASE LEVEL 51000m**
Scale 1:50 **HEIGHT RESTRICTION 11m**

GENERAL

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Rev	Date	By	Description
P1	200919	WT	For information
P2	221018	WT	Fireplace note added

DRY INK Architects

Dry Ink Architects (Pty) Ltd. Registration Number: 2017/004878 / 07

Tel: +27 76 7943031 Email: wayne@dryinkarchitects.co.za
18 Rendelsham Ave 1 Beirovivo Kimberley 8301

WAYNE TERRY (PrArch 24714089)

WAYNE BERTRAM TERRY (PrArch 24714089)

PROFESSIONAL ARCHITECT

WAYNE BERTRAM TERRY (PrArch 24714089)

SILLERY ESTATE DESIGN SUPPORT

SILLERY ESTATE 355/1 PLOT 12

14-06-2022 DATE ISSUED

10/05/2022 DATE

Project: **PROPOSED NEW DWELLING**

Certified by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-IA on SANS 204

Architect: *[Signature]*

Approval by Representative

Stefan Botha
Name of Client representative:

Signature of Client representative: *[Signature]*

Date: 10/05/2022

Client: **Growthtime Construction Pty Ltd**

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title: **GROUND FLOOR DETAIL PLAN**

Drawing status: **COUNCIL SUBMISSION**

Scale: **1:50 @ A1** Drawn by: **WT**

Date: **220223** Checked by: **WT**

Project No.: **DIA 0097** Drawing nr.: **L01_205** Rev nr.: **P2**

DIA 0097_Team model Option 2_15_Arch 24.pln

LP gas installation to comply with SANS 10 087

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegates

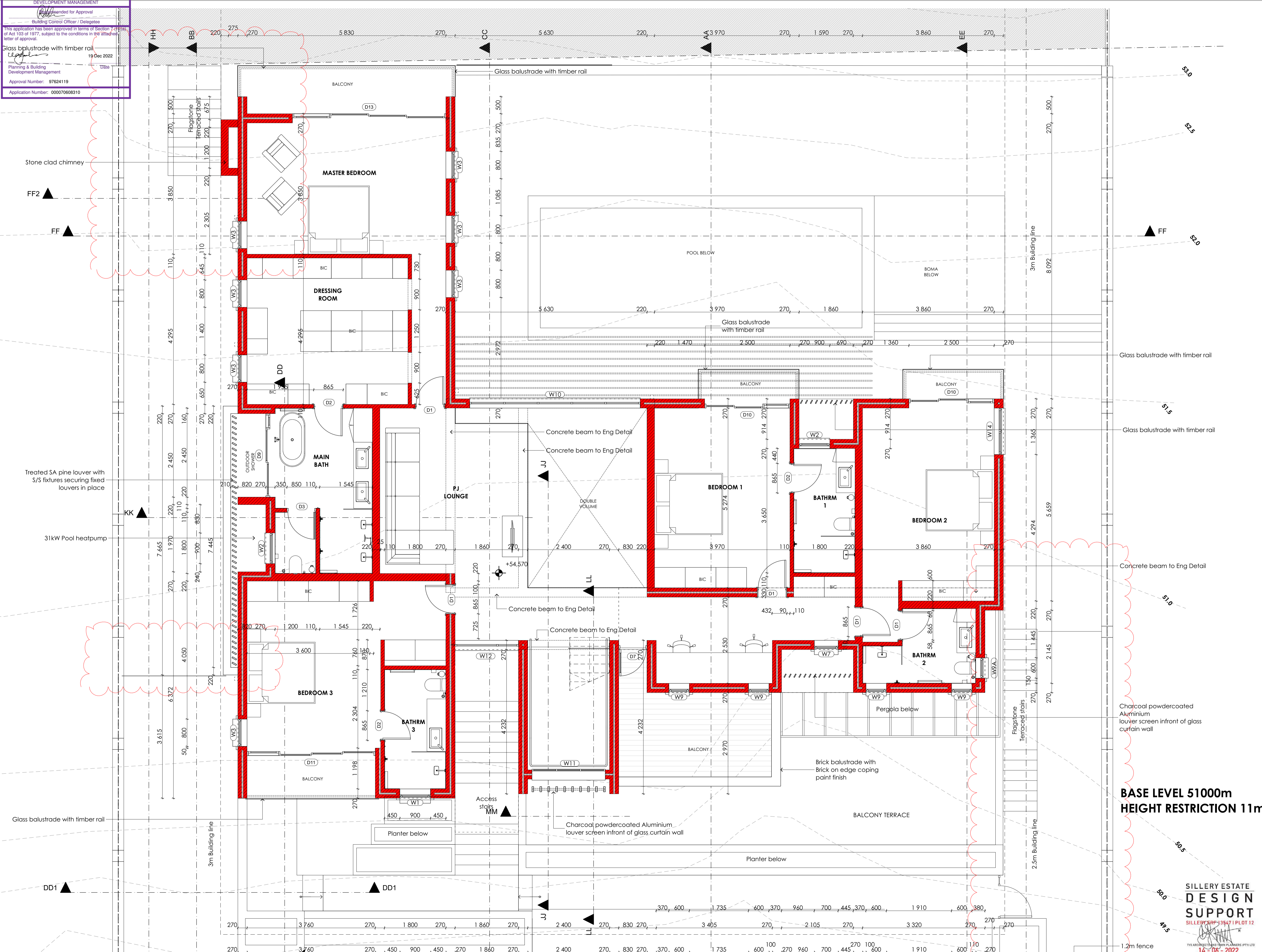
This application has been approved in terms of Section 7(1)(b) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

19 Dec 2022

Planning & Building Development Management

Approval Number: 97624119

Application Number: 00070608310



1. FIRST FLOOR PLAN
Scale 1:50

GENERAL

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- Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

Rev	Date	By	Description
P1	200919	WT	For information
P2	221017	WT	Additional notes added

DRY INK Architects

Dry Ink Architects (Pty) Ltd. Registration Number: 2017/006878 / 07
Tel: +27 76 7943031 Email: wayne@dryinkarchitects.co.za
18 Rendelsham Ave 1 Beiroviva Kimberley 8301

WAYNE TERRY (PrArch 24714089)

PROFESSIONAL ARCHITECT
WAYNE BERTRAM TERRY

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-IA on SANS 204

Stefan Botha
Architect

Approval by Representative

Stefan Botha
Name of Client representative:
Stefan Botha
Signature of Client representative:
Date: 10/05/2022

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title:
FIRST FLOOR DETAIL PLAN

Drawing status:
COUNCIL SUBMISSION

Scale:
1:100 @ A1

Date:
220223

Project No.:
DIA 0097

Drawing nr.:
L01_210

Rev nr.:
P2

DIA 0097_Team model Option 2_15_Arch 24.pht

SILLERY ESTATE DESIGN SUPPORT

SILLERY ERF 13547 | PLOT 12

14-06-2022
DATE ISSUED

123 ARCHITECTS AND ENGINEERS (Pty) Ltd
123 ARCHITECTS AND ENGINEERS (Pty) Ltd
123 ARCHITECTS AND ENGINEERS (Pty) Ltd

BASE LEVEL 51000m
HEIGHT RESTRICTION 11m

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegates

This application has been approved in terms of Section 7 (1) (a) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

19 Dec 2022
Date

Planning & Building Development Management

Approval Number: 97624119

Application Number: 00070608310



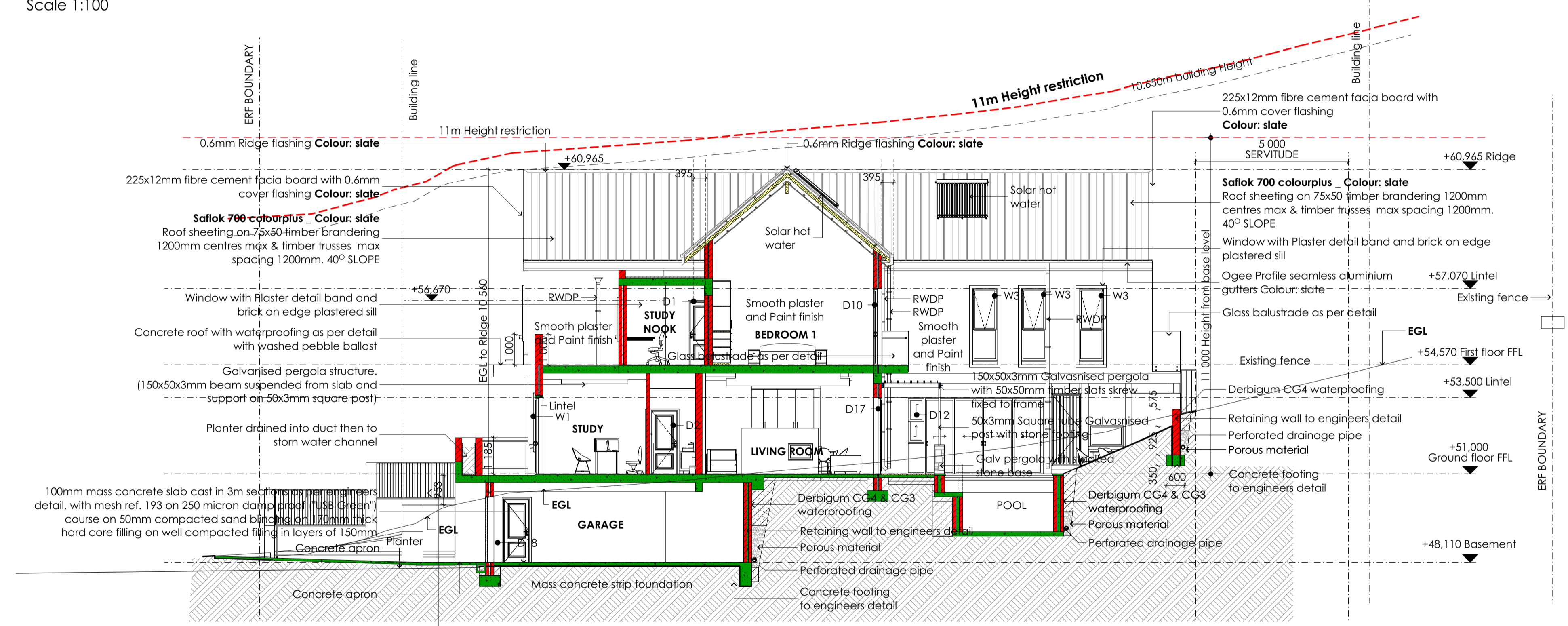
1. WEST ELEVATION
Scale 1:100

GENERAL COMMENTS:
All beams to engineers detail
Roof truss design to suppliers detail

GENERAL

- This drawing is copyright reserved and remains the property of the architect.
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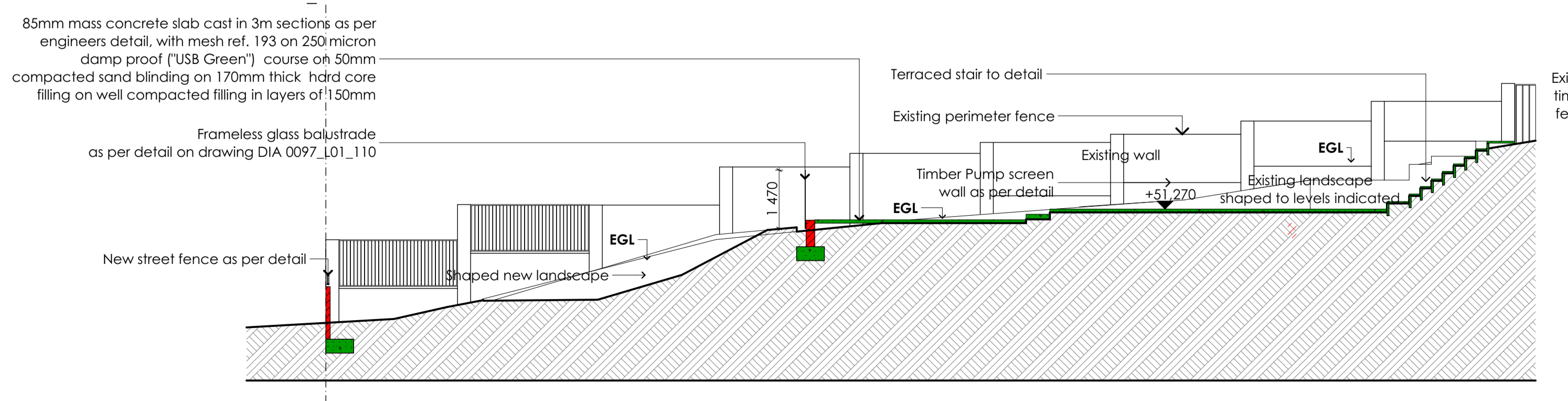
Rev	Date	By	Description
P1	200919	WT	For information
P2	221017	WT	Additional notes added



2. SECTION AA-AA
Scale 1:100

City of Cape Town definition of basement:

- A basement is a portion of a building that:
 - Is below the existing ground level (EGL).
 - Protrudes not more than 1.5m above any point of the EGL.
 - Includes the floor and ceiling in the definition of a basement.



1. SECTION BB -BB
Scale 1:100

SILLERY ESTATE DESIGN SUPPORT

14-06-2022
DATE ISSUED

153 ARCHITECTS AND PLANNERS (Pty) LTD

153

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DRY INK Architects

Dry Ink Architects (Pty) Ltd. Registration Number: 2017/004878/07

Tel: +27 76 7943031 Email: wayne@dryinkarchitects.co.za
18 Rendelsham Ave 1 Belgravia Kimberley 8301

WAYNE TERRY (PrArch 24714089)

PROFESSIONAL ARCHITECT
WAYNE BERTRAM TERRY
25/01/08 (PrArch 14089) on 20 May 2022

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-1A on SANS 204

Architect: *Wayne Terry*

Approval by Representative

Stefan Botha
Name of Client representative:
Stefan Botha
Signature of Client representative:
Date: 10/05/2022

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title:
ELEVATION & SECTION

Drawing status:
COUNCIL SUBMISSION

Scale: 1:100 @ A1	Drawn by: WT
Date: 220223	Checked by: WT

Project No.: **DIA 0097** Drawing nr.: **L03_150** Rev nr.: **P2**
DIA 0097_Team model Option 2_15_Arch 24.pht

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegates

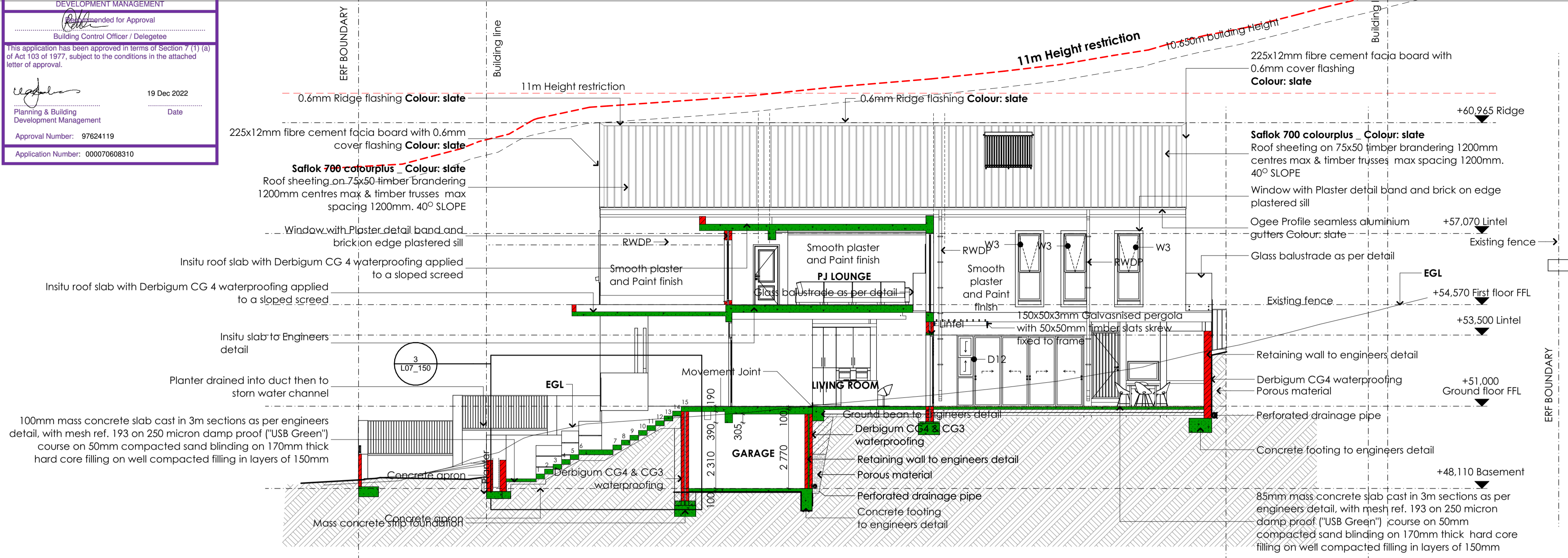
This application has been approved in terms of Section 7 (1) (a) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

19 Dec 2022
Date

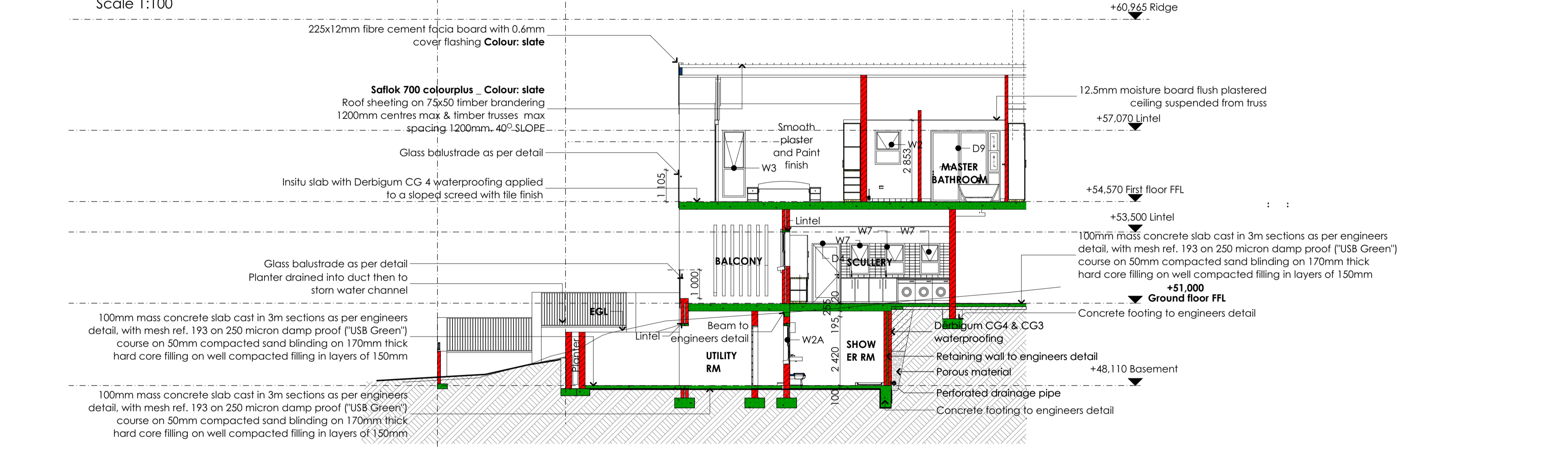
Planning & Building Development Management

Approval Number: 97624119

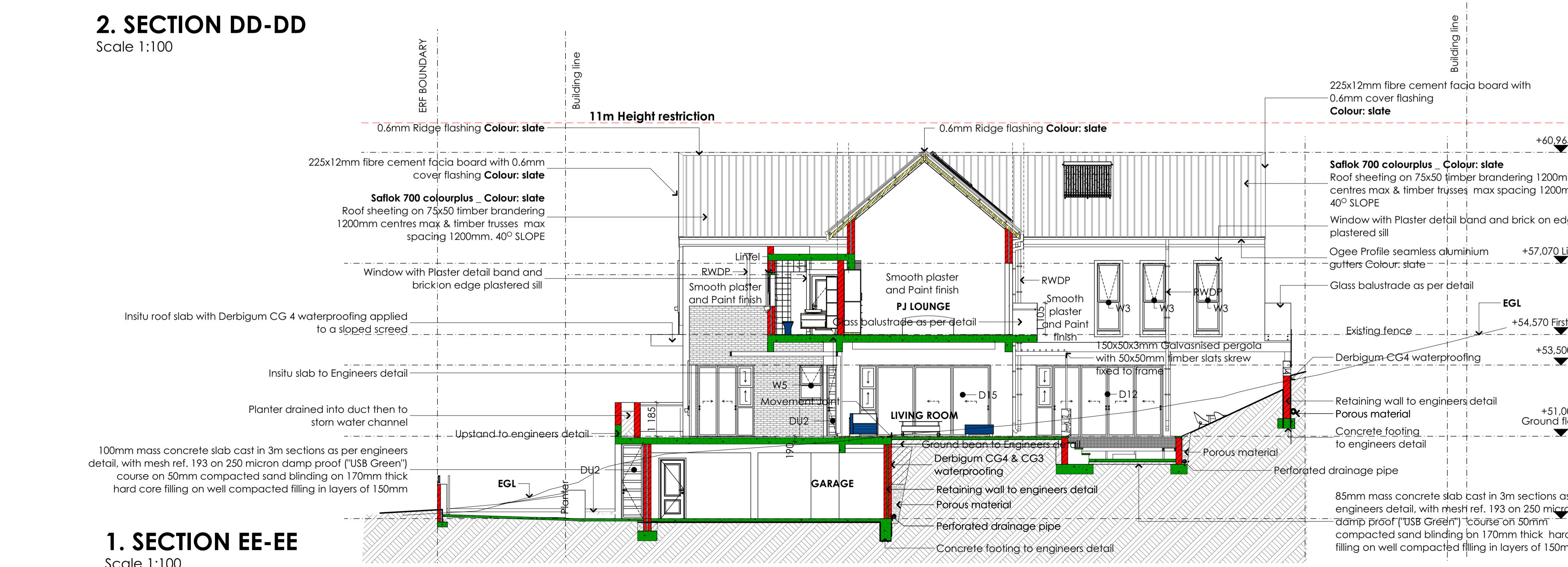
Application Number: 00070608310



1. SECTION CC-CC
Scale 1:100



2. SECTION DD-DD
Scale 1:100



1. SECTION EE-EE
Scale 1:100

GENERAL COMMENTS:
All beams to engineers detail
Roof truss design to suppliers detail

GENERAL

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Rev	Date	By	Description
P1	200919	WT	For information
P2	221017	WT	Additional notes added

DRY INK Architects

Dry Ink Architects (Pty) Ltd. Registration Number: 2017 / 004878 / 07

Tel: +27 76 7943039 | Email: wayne@dryinkarchitects.co.za
18 Rendesham Ave | Belgravia | Kimberley | 6301

WAYNE TERRY (PrArch 24714089)

WAYNE BERTRAM TERRY (PrArch 24714089)

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-XA on SANS 204

Architect: *Wayne Terry*

Approval by Representative

Stefan Botha
Name of Client representative:

Signature of Client representative: *Stefan Botha*

Date: 10/05/2022

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title:
SECTIONS Page 1

Drawing status:
COUNCIL SUBMISSION

Scale: 1:100 @ A1
Date: 220223

Drawn by: WT
Checked by: WT

Project No.: DIA 0097
Drawing nr.: L03_155
Rev. nr.: P2

DIA 0097_Team model Option 2_15_Arch 24.pdf

SILLERY ESTATE DESIGN SUPPORT

SILLERY ESTATE 13547 | PLOT 12

14-06-2022
DATE ISSUED

100% ARCHITECTURAL DRAWINGS FOR PERMITTED DEVELOPMENT

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CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegates

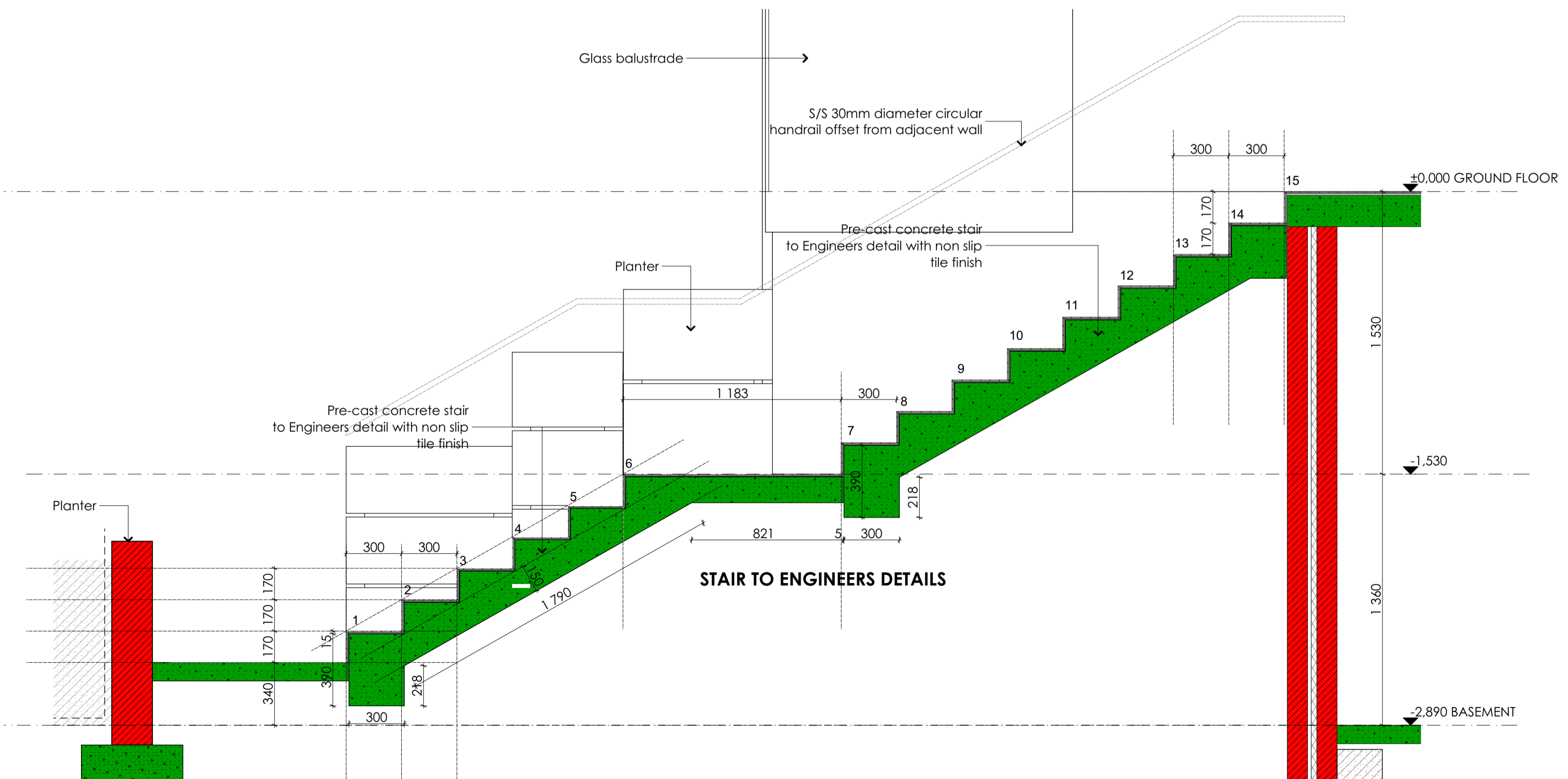
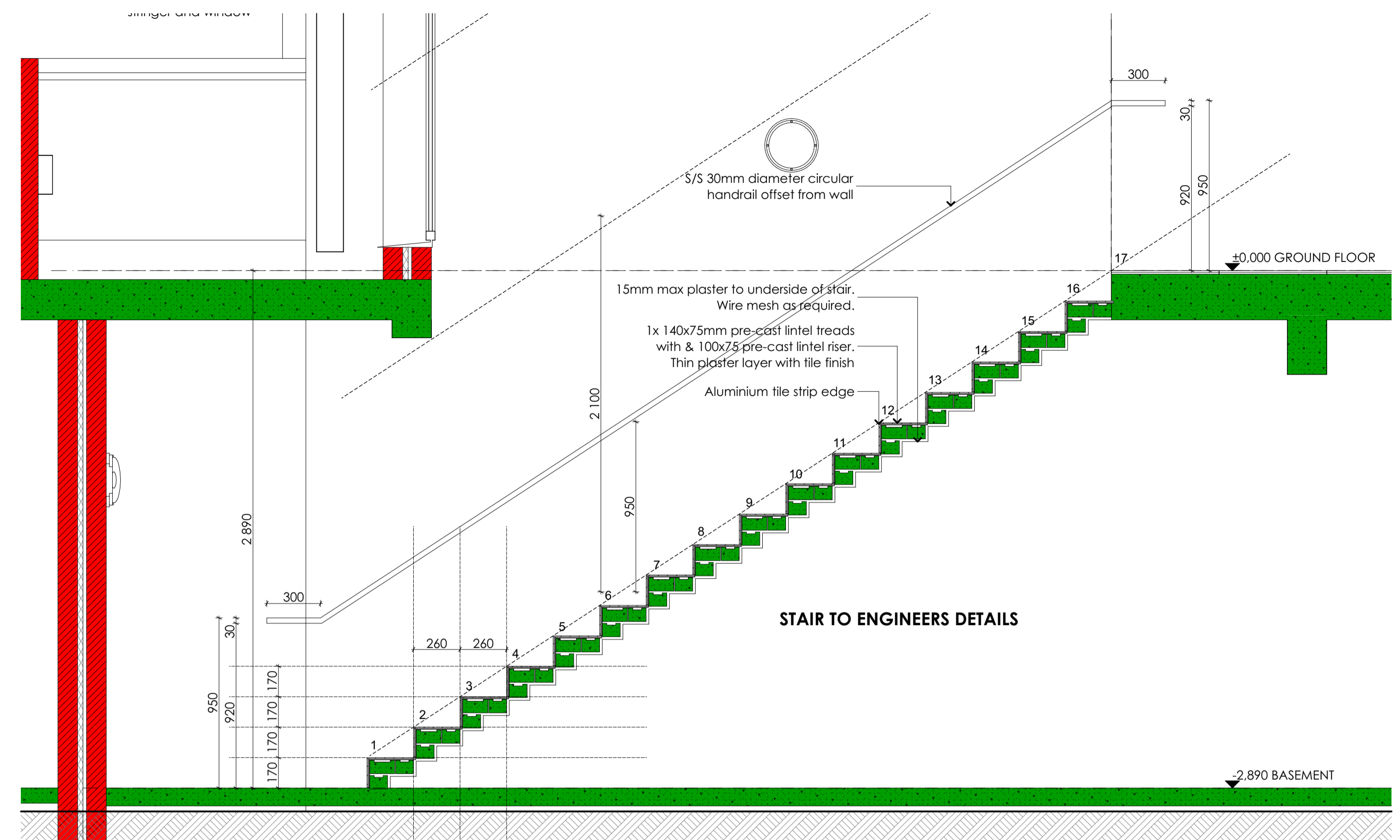
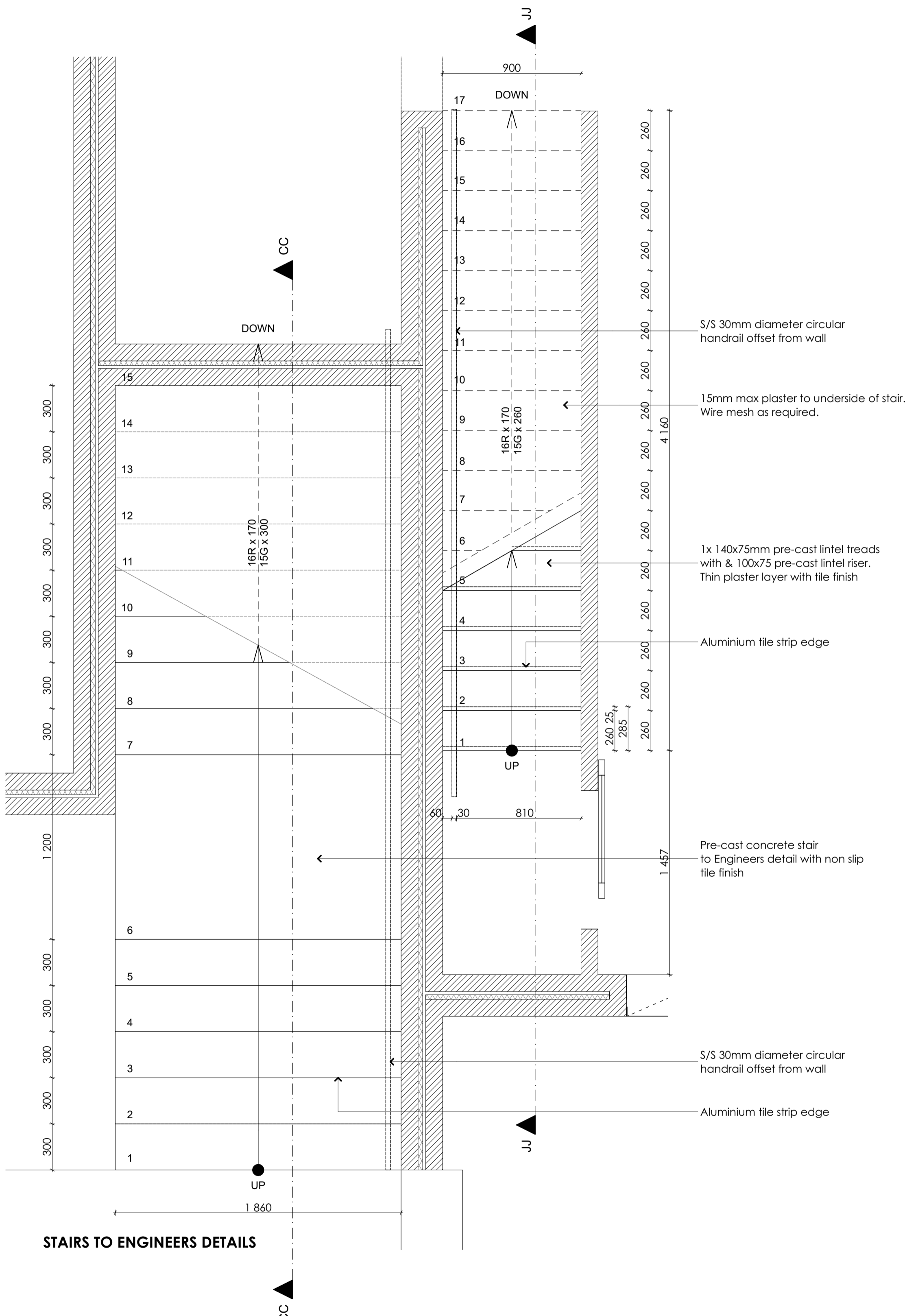
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19 Dec 2022
Date

Planning & Building
Development Management

Approval Number: 97624119

Application Number: 000070608310



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Rev	Date	By	Description
P1	200919	WT	For information
P2	221017	WT	Additional notes added

DRY INK Architects

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Tel: +27 76 7943031 Email: wayne@dryinkarchitects.co.za
18 Rendelsham Ave 1 Belgravia Kimberley 8301

WAYNE TERRY (PrArch 24714089)

PROFESSIONAL ARCHITECT
WAYNE BERTRAM TERRY
2489 4th Avenue, Johannesburg on 29 May 2022

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-1A on SANS 204

Architect: *[Signature]*

Approval by Representative

Stefan Botha
Name of Client representative:
[Signature]
Signature of Client representative:
10/05/2022
Date:

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title
STAIRS PAGE 1

Drawing status
COUNCIL SUBMISSION

Scale: 1:100 @ A1	Drawn by: WT
Date: 220508	Checked by: WT

Project No.:
DIA 0097

Drawing nr.:
L07_100

Rev nr.:
P2

DIA 0097_Team model Option 2_15_Arch 24.ppt

SILLERY ESTATE DESIGN SUPPORT
SILLERY ERF 13547 | PLOT 12

14-06-2022
DATE ISSUED

tv3
SPECIALISTS AND YOUR PARTNER IN DESIGN AND CONSTRUCTION

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegates

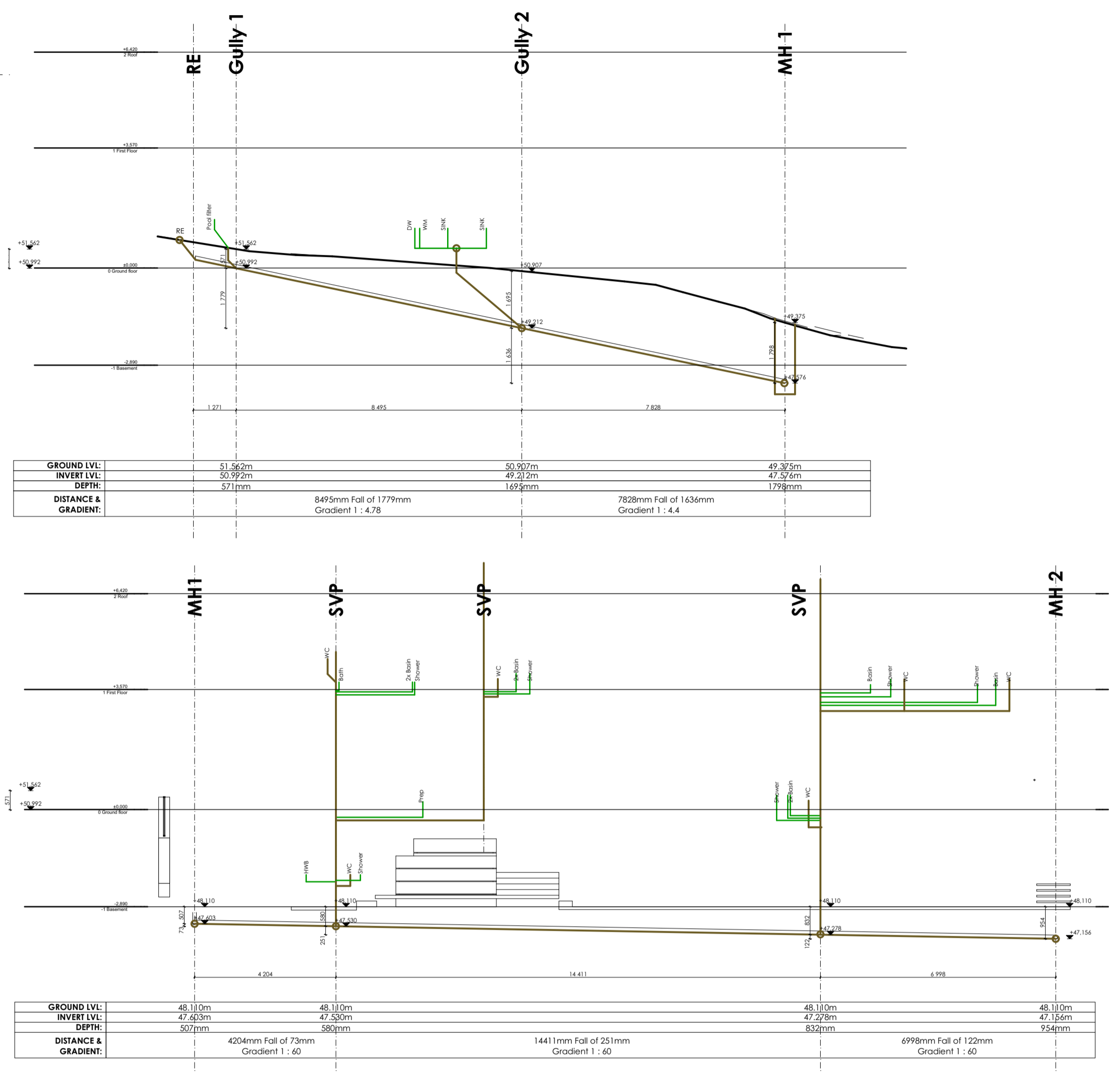
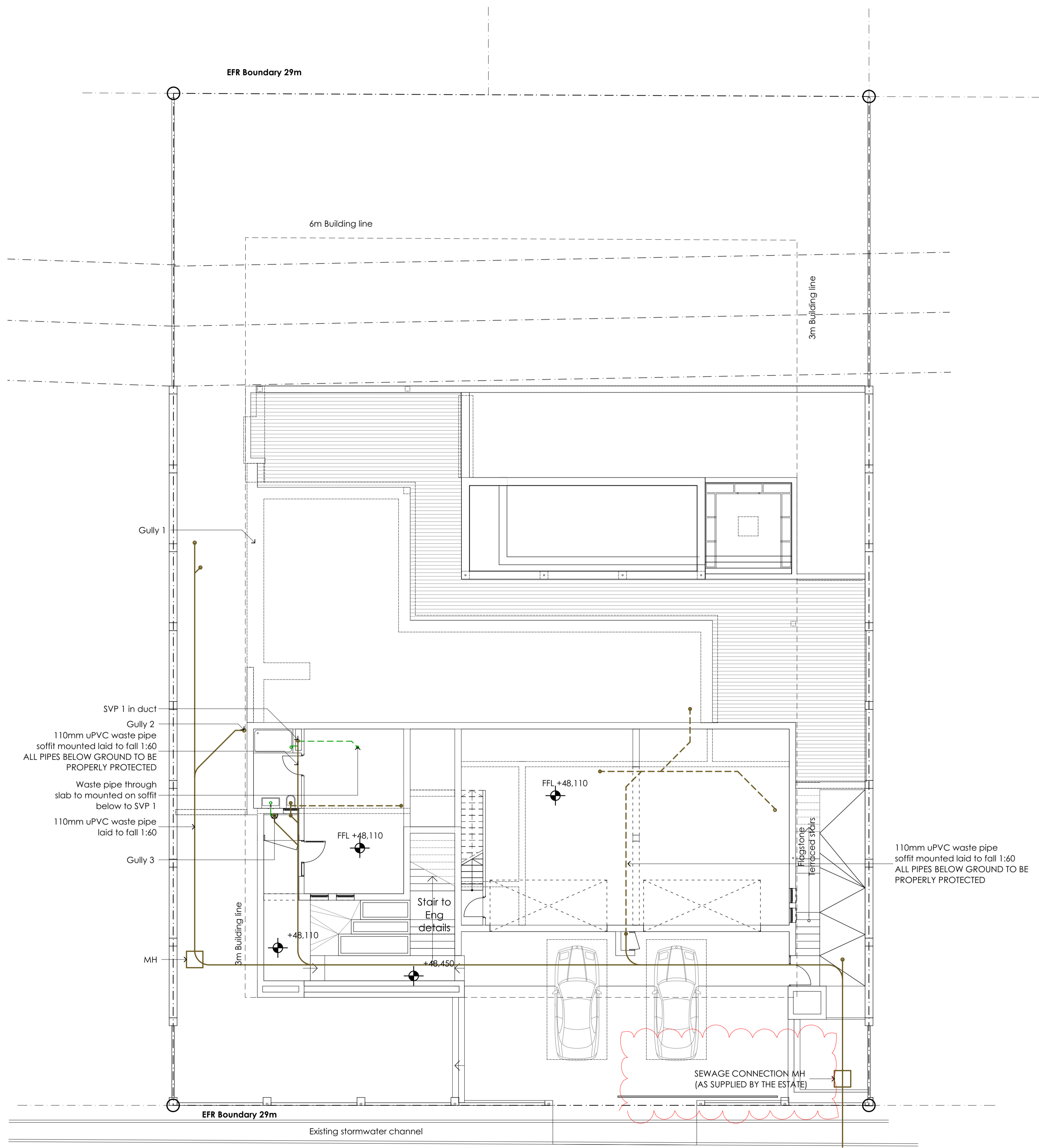
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19 Dec 2022
Date

Planning & Building
Development Management

Approval Number: 97624119

Application Number: 00070608310



- Drainage Note:**
- All drawings to comply with municipal regulations and SANS 10400 - Part P
 - All piping to carry SABS stamp of approval
 - All traps to be 75mm deep seal
 - All waste pipes to be 50mm Ø uPVC
 - All bends to have a 600mm radius slow bend
 - All waste fittings to have an anti-vacuum trap
 - Min depth of waste pipes to be 450mm below ground level unless otherwise stated.
 - All soil pipes below building walls and driveways and or with in 450mm of EGL to be encased in concrete
 - All soil pipes to be 110mm Ø uPVC tp be bedded in 100mm thick river sand and covered with 300mm river sand or clay free soil

- Drainage legend:**
- Pre-cast gully
 - 50mm uPVC waste pipe
 - 110mm uPVC soil pipe
 - RE Roding Eye
 - IE Inspection eye
 - MH Manhole 600x600

GENERAL

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Rev	Date	By	Description
P1	200919	WT	For information
P2	221017	WT	Additional notes added
P3	221128	WT	Sewage connection note added

DRY INK Architects

Dry Ink Architects (Pty) Ltd. Registration Number: 2017/006878/07
 Tel: +27 76 7943031 Email: wayne@dryinkarchitects.co.za
 18 Rendesham Ave 1 Belgravia Kimberley 8301

WAYNE TERRY (PrArch 24714089)

PROFESSIONAL ARCHITECT
WAYNE BERTRAM TERRY
 2589 4th Avenue, Johannesburg on 29 May 2022

Certificate by Competent person
 This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-1A on SANS 204

Architect: *Wayne Terry*

Approval by Representative

Stefan Botha
 Name of Client Representative:
 Signature of Client Representative:
 10/05/2022
 Date:

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
 PLOT 12
 ERF 13547
 Sillery Private Estate
 Constantia
 Western Cape

Drawing title:
BASEMENT WASTE WATER PLAN

Drawing status:
COUNCIL SUBMISSION

Scale: 1:100 @ A1	Drawn by: WT
Date: 220508	Checked by: WT

Project No.: Drawing nr.:
DIA 0097 L10_100 P3

DIA 0097_Team model Option 2_15_Arch 24.pht

SILLERY ESTATE DESIGN SUPPORT
 SILLERY ERF 13547 | PLOT 12
 14-06-2022
 DATE ISSUED
 tv3

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegates

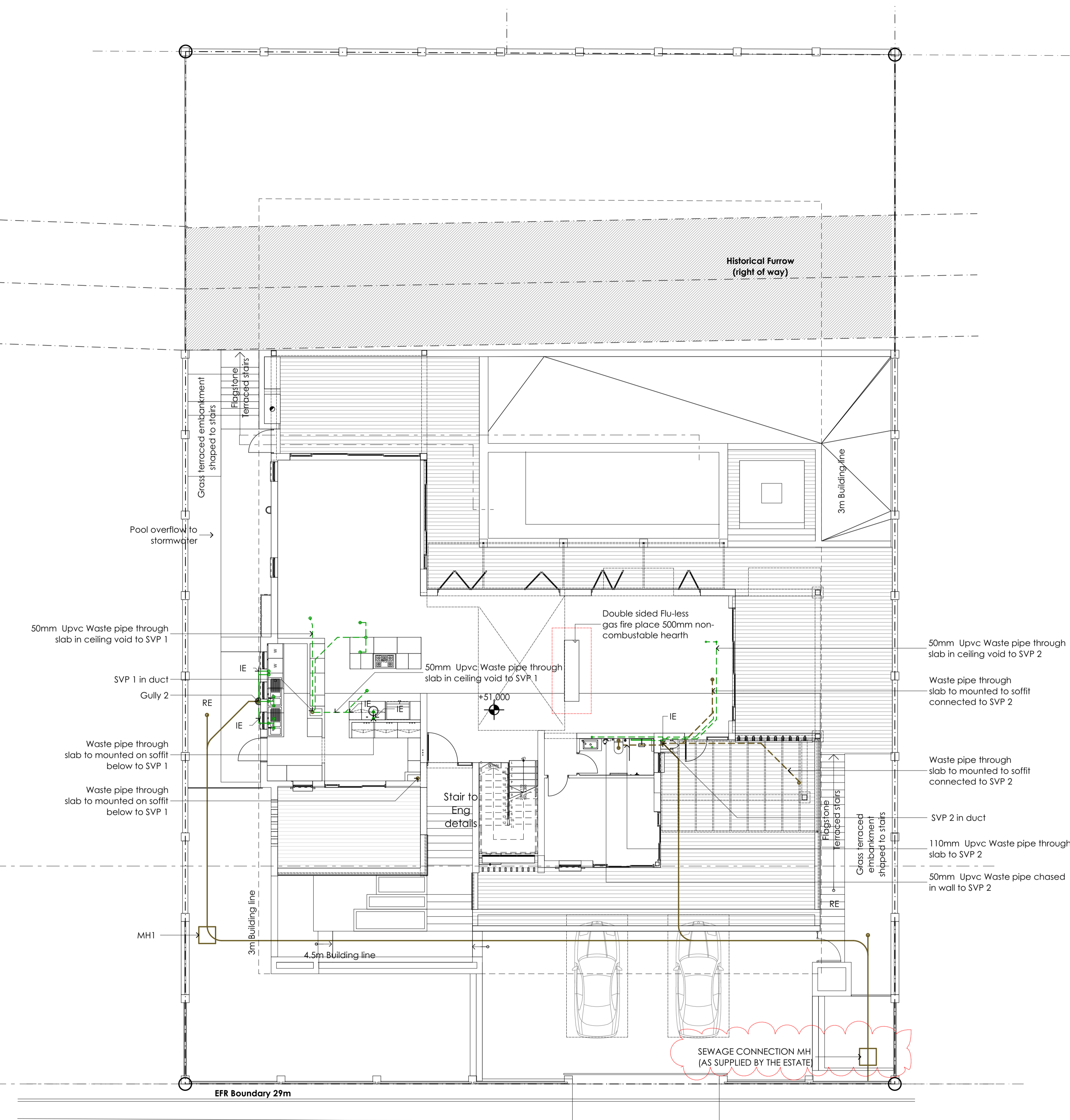
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19 Dec 2022
Date

Planning & Building
Development Management

Approval Number: 97624119

Application Number: 00070608310



Drainage Note:

- All drawings to comply with municipal regulations and SANS 10400 - Part P
- All piping to carry SABS stamp of approval
- All traps to be 75mm deep seal
- All waste pipes to be 50mm Ø uPVC
- All bends to have a 600mm radius slow bend
- All waste fittings to have an anti-vacuum trap
- Min depth of waste pipes to be 450mm below ground level unless otherwise stated.
- All soil pipes below building walls and driveways and or with in 450mm of EGL to be encased in concrete
- All soil pipes to be 110mm Ø uPVC tp be bedded in 100mm thick river sand and covered with 300mm river sand or clay free soil

Drainage legend:

- Pre- cast gully
- 50mm uPVC waste pipe
- 110mm uPVC soil pipe
- RE Roding Eye
- IE Inspection eye
- MH Manhole 600x600

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Rev	Date	By	Description
P1	200919	WT	For information
P2	221017	WT	Additional notes added
P3	221128	WT	Sewage connection note added

DRY INK Architects

Dry Ink Architects (Pty) Ltd. Registration Number: 2017 / 006878 / 07
Tel: +27 76 7943031 Email: wayne@dryinkarchitects.co.za
18 Rendeshom Ave 1 Belgravia Kimberley 8301

WAYNE TERRY (PrArch 24714089)

PROFESSIONAL ARCHITECT
WAYNE BERTRAM TERRY

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-XA on SANS 204

Architect: *Wayne Terry*

Approval by Representative

Stefan Botha
Name of Client representative:
Signature of Client representative: *Stefan Botha*
Date: 10/05/2022

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title
GROUND FLOOR WASTE WATER PLAN

Drawing status
COUNCIL SUBMISSION

Scale: 1:50 @ A1	Drawn by: WT
Date: 220223	Checked by: WT

Project No.: Drawing nr.:
DIA 0097 L10_105 P3

Rev nr.:
DIA 0097_Team model Option 2_15_Arch 24.pht

1. GROUND WASTE WATER PLAN
Scale 1:100

SILLERY ESTATE DESIGN SUPPORT
SILLERY ERF 13547 | PLOT 12

152 ARCHITECTS AND DESIGNERS (PTY) LTD
14-06-2022
DATE ISSUED

tv3
REGISTERED ARCHITECTS AND DESIGNERS

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegates

This application has been approved in terms of Section 7 (1) (a) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

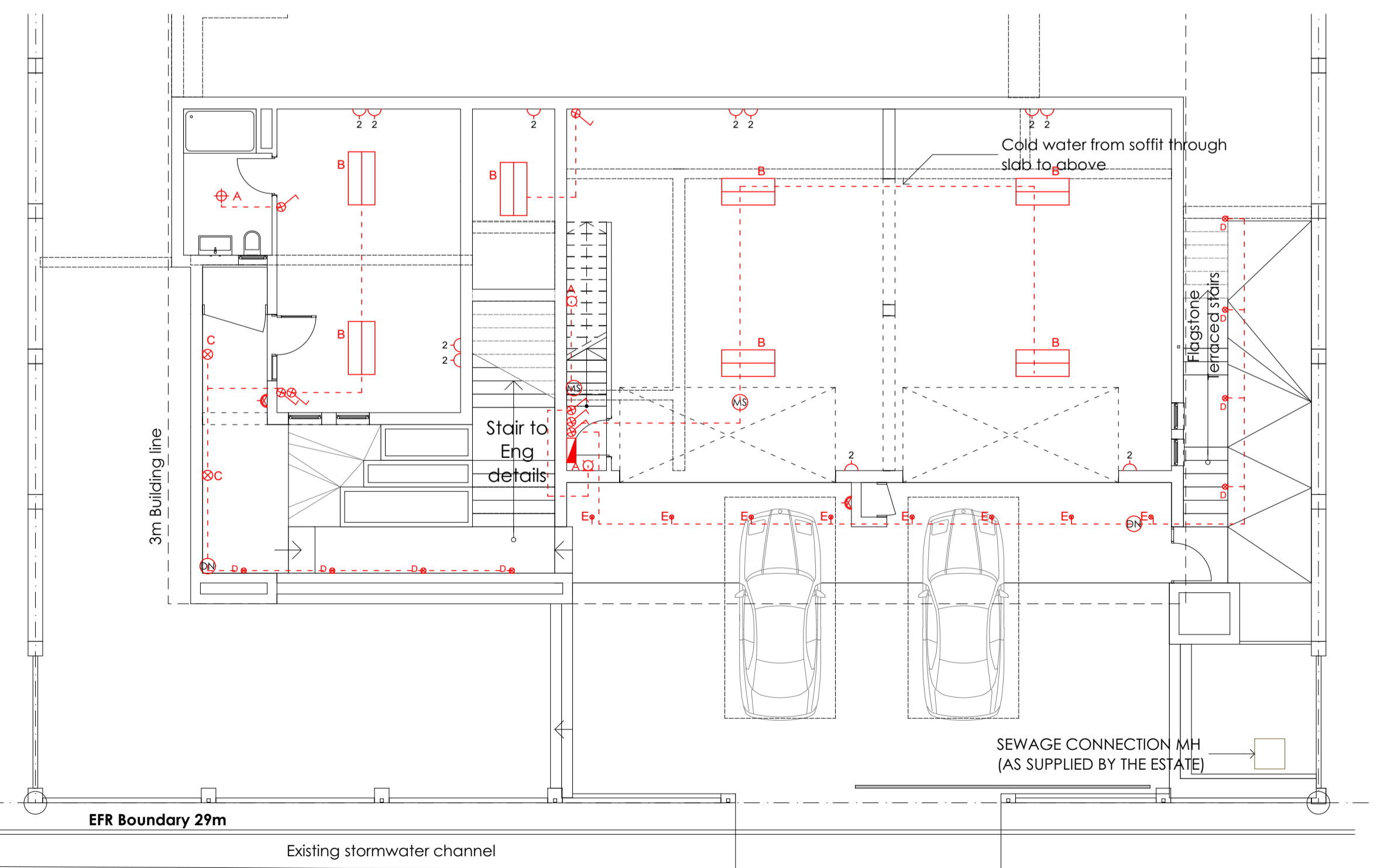
[Signature] 19 Dec 2022
Date

Planning & Building
Development Management

Approval Number: 97624119

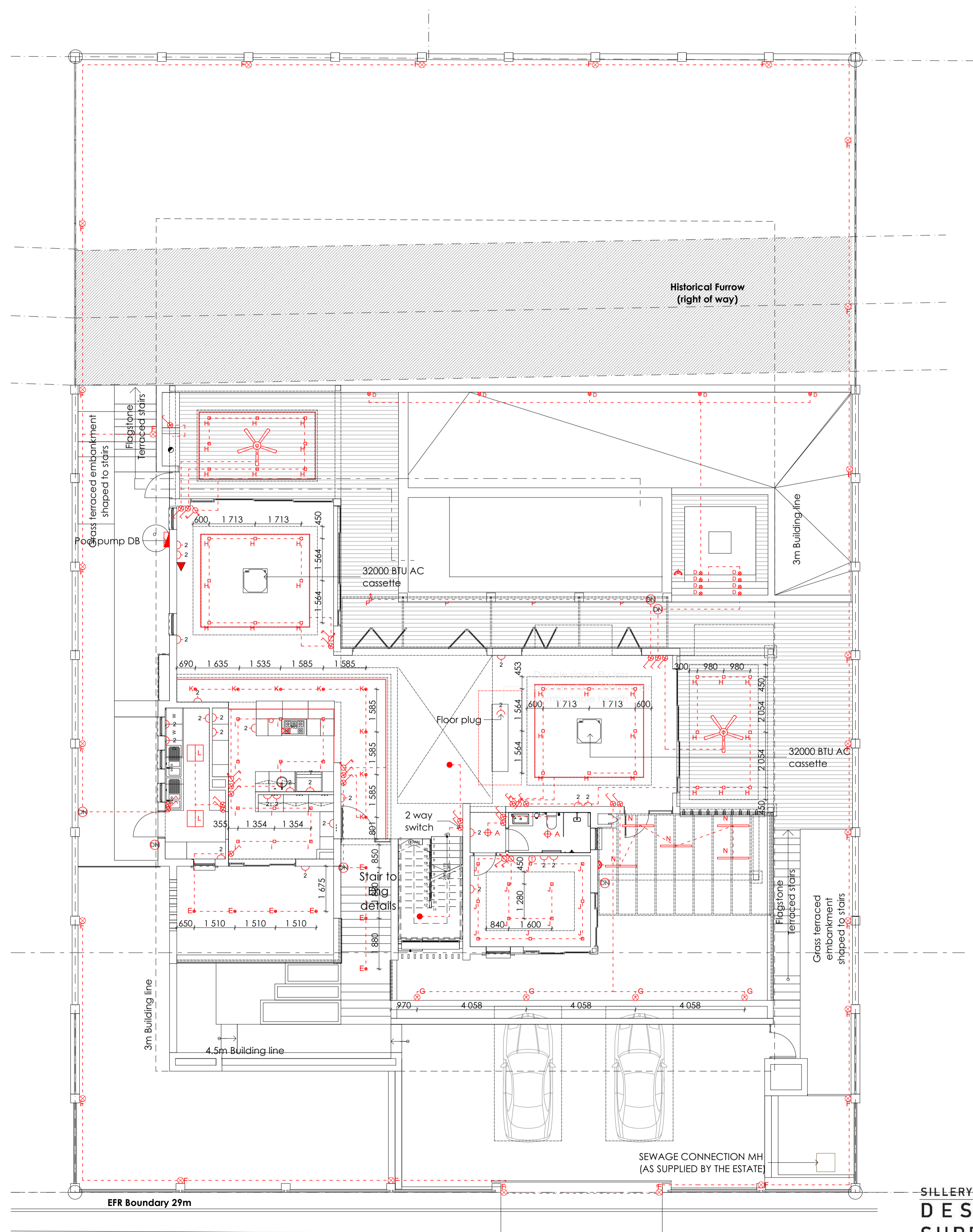
Application Number: 00070608310

Electric Schedule	
	Power distribution box
	Telephone connection point
	light switch
	One Lever two way light switch
	Dimmer switch
	Day night sensor
	Day night sensor
	Single wall socket
	Double wall socket 2x 3pin & 2x 2pin layout
	Double floor socket
	Shaver socket
	Double Waterproof plug
	Stove connection point
	Satellite dish
	DSTV point
	ADSL & Telephone point



1. BASEMENT ELECTRICAL PLAN

Scale 1:100



2. GROUND FLOOR ELECTRICAL PLAN

Scale 1:100

GENERAL

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- All electrical and drainage work to be executed registered artisans.
- Where required, Architect's drawings to be read in conjunction with Engineer's drawings.
- Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.

Rev	Date	By	Description
P1	200919	WT	For information

DRY INK Architects

Dry Ink Architects (Pty) Ltd. Registration Number: 2017 / 004878 / 07
Tel: +27 76 7943031 Email: wayne@dryinkarchitects.co.za
18 Rendesham Ave 1 Belgravia Kimberley 8301

WAYNE TERRY (PrArch 24714089)

POWERED BY PRIVYSEAL

PROFESSIONAL ARCHITECT
WAYNE BERTRAM TERRY
25191 004 (Professional) on 29 May 2022

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-IA on SANS 204

[Signature]
Architect:

Approval by Representative

Stefan Botha
Name of Client representative:
[Signature]
Signature of Client representative:
Date: 10/05/2022

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title
BASEMENT & GROUND FLOOR ELECTRICAL PLAN

Drawing status
COUNCIL SUBMISSION

Scale: 1:50 @ A1	Drawn by: WT
Date: 220223	Checked by: WT

Project No.: Drawing nr.:
DIA 0097 L10_200 P1

Rev nr.:
DIA 0097_Team model Option 2_15_Arch 24.pln

SILLERY-ESTATE DESIGN SUPPORT
SILLERY-ESTATE 13547 | PLOT 12

155 ARCHITECTS AND DESIGNERS (PTY) LTD
14-06-2022
DATE ISSUED

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Recommended for Approval
Building Control Officer / Delegates

This application has been approved in terms of Section 7 (1) (a) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

19 Dec 2022
Date

Planning & Building
Development Management

Approval Number: 97624119

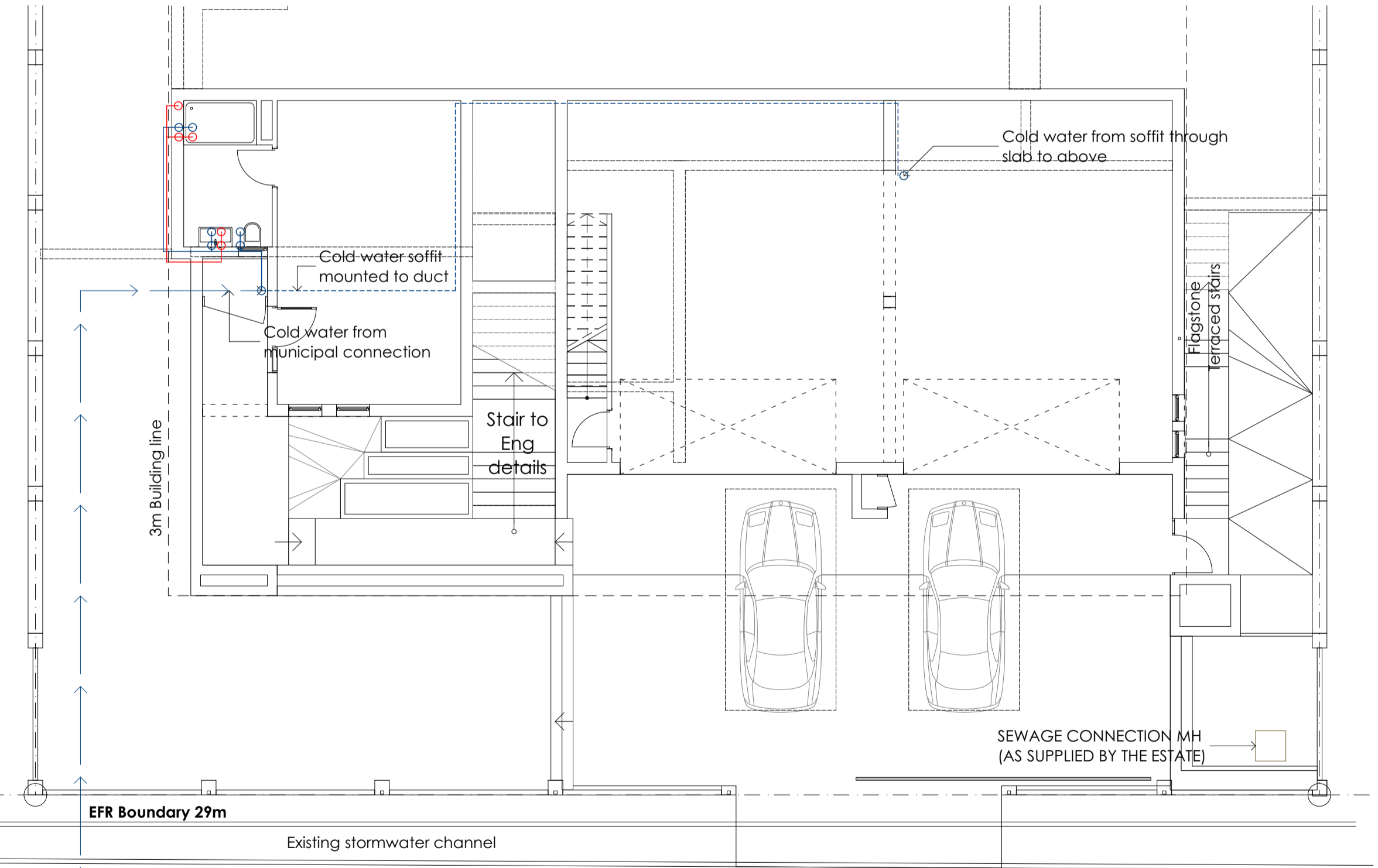
Application Number: 00070608310

Water reticulation Note:

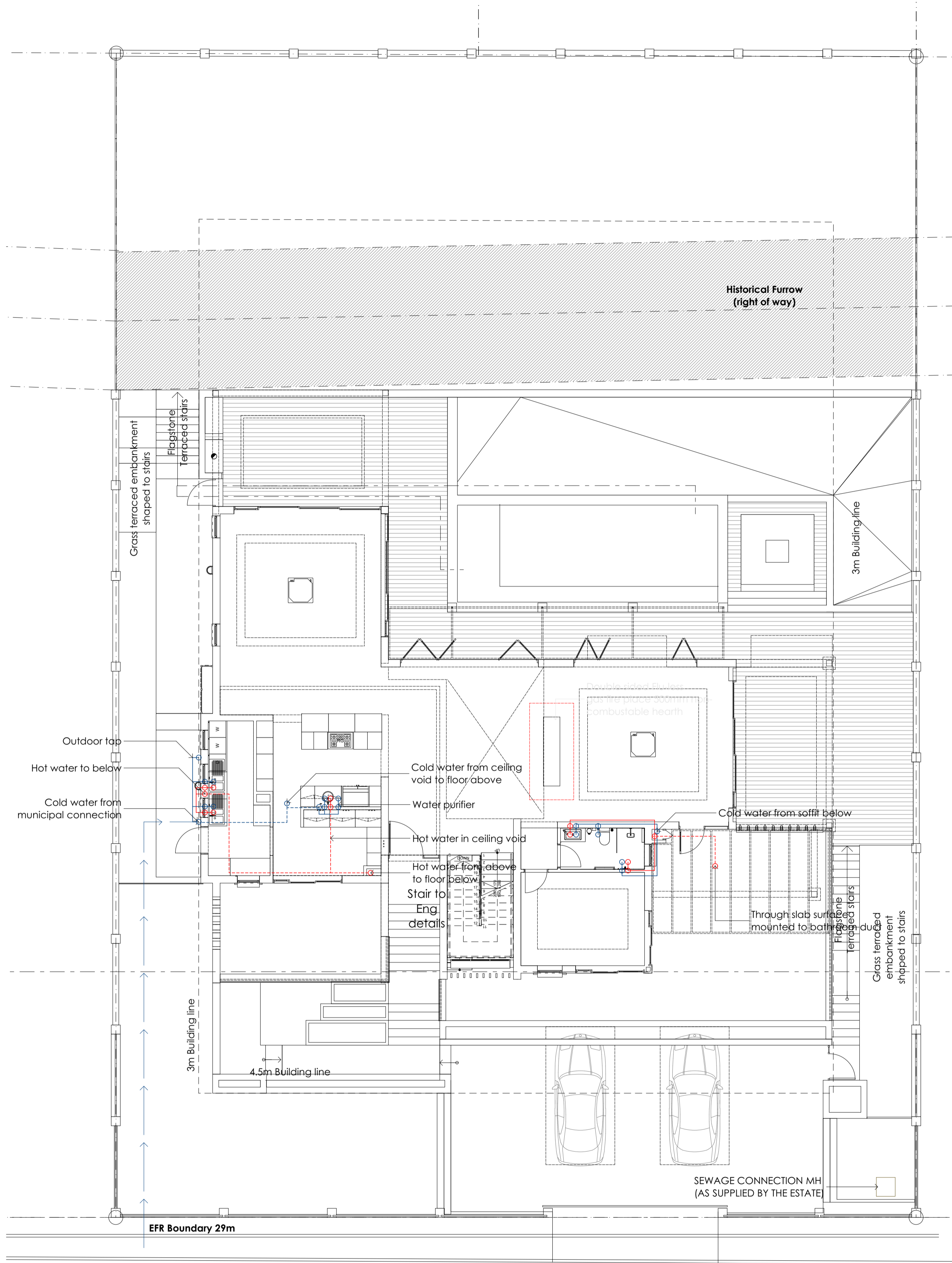
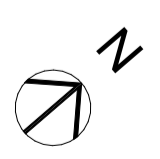
- All underground water supply pipes to be HDPE or equivalent
- All water supply pipes above ground to be surface mounted polymer heavy duty class 2 hot and cold water pipes fitted with approved bends and accessories
- All routes are schematic and should be confirmed on site
- All exposed hot water pipes to be clad with glasswool insulation as per Isover or equal approved to meet min R-value of 1 as per SANS 10400-XA:2011 4.1.4.
- All supply pipes to geyser to be insulated
- Solar geyser to be installed by specialist on top of room position as shown on roof plan

Water reticulation legend:

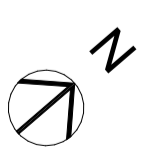
- 22mm copper Hot water ring feed
- 15mm copper Hot water supply line chased into wall
- 15mm copper Hot water supply line in ceiling void
- 15mm copper cold water supply line chased into wall
- 15mm copper cold water supply line in ceiling void



1. BASEMENT WATER RETICULATION PLAN
Scale 1:100



2. GROUND FLOOR WATER RETICULATION PLAN
Scale 1:100



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Rev	Date	By	Description
P1	200919	WT	For information

DRY INK Architects

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18 Rendesham Ave | Belgravia | Kimberley | 8301

WAYNE TERRY (PrArch 24714089)

PROFESSIONAL ARCHITECT
WAYNE BERTRAM TERRY
2019 MH (Professional) on 29 May 2022

Certificate by Competent person
This is to certify that the building design contemplated herein complies with the requirements of SANS 10400-XA on SANS 204

Architect: *Wayne Terry*

Approval by Representative

Stefan Botha
Name of Client representative:
Stefan Botha
Signature of Client representative:
Date: 10/05/2022

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title
BASEMENT & GROUND FLOOR WATER RETICULATION PLAN

Drawing status
COUNCIL SUBMISSION

Scale: 1:50 @ A1	Drawn by: WT
Date: 220223	Checked by: WT

Project No.: **DIA 0097** Drawing nr.: **L10_300** Rev nr.: **P1**
DIA 0097_Team model Option 2_15_Arch 24.plt

SILLERY ESTATE DESIGN SUPPORT
SILLERY ERF 13547 | PLOT 12

153 ARCHITECTURAL TEAM PLANNERS (Pty) LTD
14-06-2022
DATE ISSUED

tv3
TV3 ARCHITECTS AND PLANNERS

CITY OF CAPE TOWN
DEVELOPMENT MANAGEMENT

Approved for Approval
Building Control Officer / Delegates

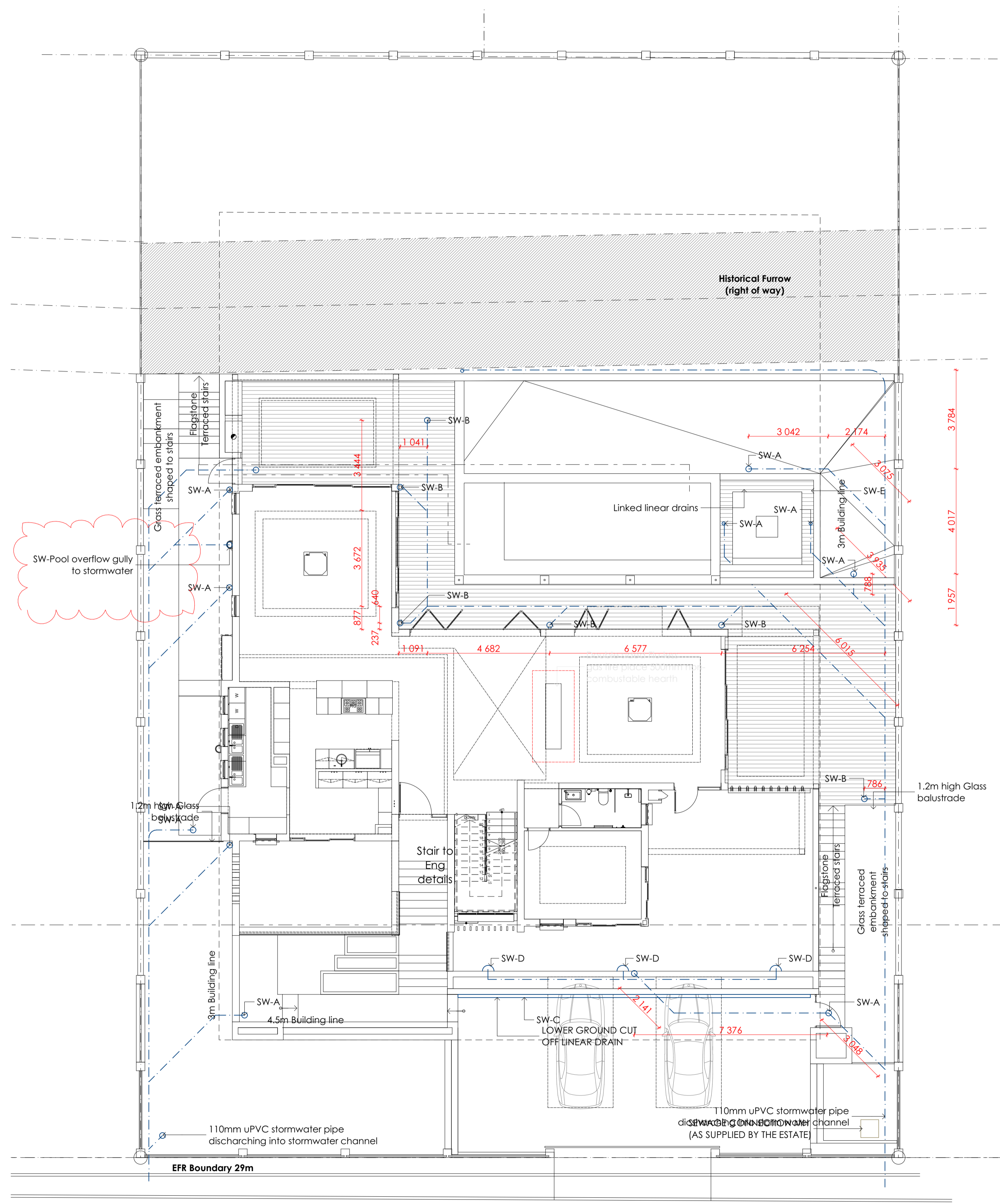
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19 Dec 2022
Date

Planning & Building
Development Management

Approval Number: 97624119

Application Number: 00007060310



1. TYPICAL STORM WATER PLAN
Scale 1:100



RainDrain Nylon - Charcoal Black
Seaqual: RainDrain Nylon
Best Selling Products
SKU: 033102
The RainDrain Nylon is Seaqual's flagship product.

Applications include domestic and light commercial use such as driveways and car park areas. RainDrain Nylon can carry vehicular weight of up to 5 tons.

RainDrain comes in 5 different colours to blend into its environment.
Colour: **CHARCOAL BLACK**
Size: **250X250X75**

2. SW- A RAIN WATER CATCH PIT



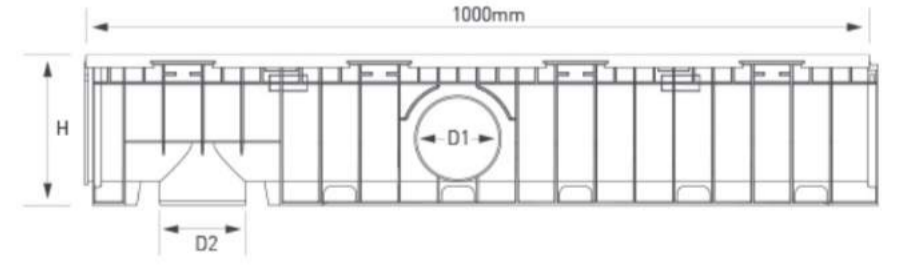
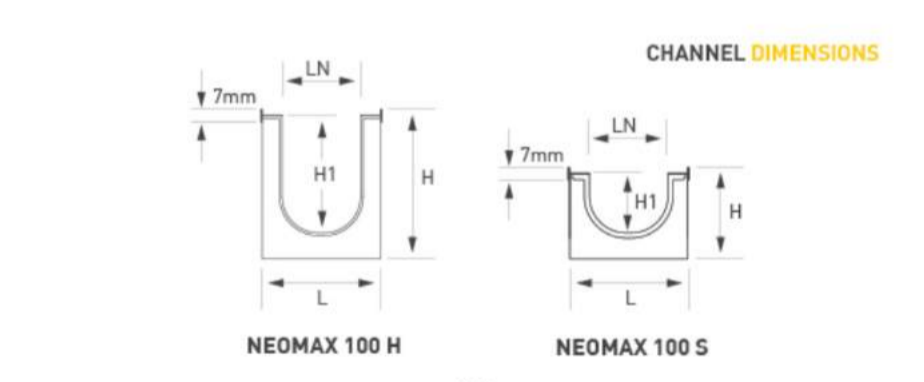
HyDrain 2nd Fix
Seaqual: Flat Roof Drains
Best Selling Products
SKU: 097704
The HyDrain 2nd Fix consists of a domed grate with a flange that is held together by 4 x bolts & nuts.

This product acts as a full-bore and is a suitable replacement to the common cast iron full-bore that has traditionally been installed on flat concrete roofs to drain rainwater.

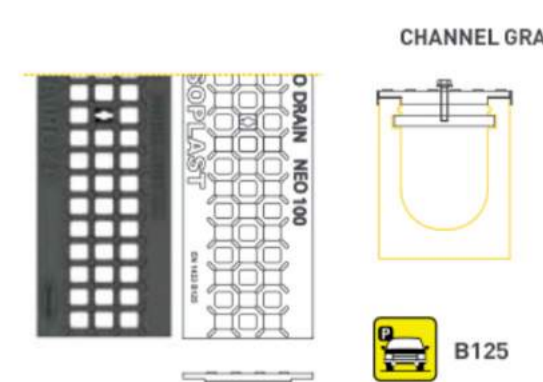
The HyDrain 2nd Fix can be installed either in conjunction with It's 1st Fix counterpart.
RainDrain comes in 5 different colours to blend into its environment.
Colour: **CHARCOAL BLACK**

3. SW- B UNDER DECKING DRAINAGE

TECHNODRAIN NEOMAX 100



MODEL TYPE	L	H	LN	H1	D1	D2
NEOMAX 100H	150mm	191mm	100mm	150mm	2x ø110mm	1x ø110mm
NEOMAX 100S	150mm	116mm	100mm	75mm	2x ø63mm	1x ø110mm



HERBISH DRAINAGE SYSTEM:
TECHNODRAIN NEOMAX 100 H

- The Technodrain Neo system is composed of:
- Body of channel in PE-HD with a fil at edge and without a containing frame, furnished with a grating with extremities that cover the entire channel area.
 - For use in pedestrian areas, parks and gardens, cycle paths and residential parking areas.
 - Ideal for urban decoration an architectural solutions in the supported loading classes
 - Fastening of gratings with tie bar

4. SW- C LINEAR DRAINAGE CHANNEL/CUT OFF DRAIN

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Rev	Date	By	Description
P1	200919	WT	For information
P2	221018	WT	pool overflow added

DRY INK Architects

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WAYNE TERRY (PrArch 24714089)

PROFESSIONAL ARCHITECT
WAYNE BERTRAM TERRY

Certificate by Competent person
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Architect: *Wayne Terry*

Approval by Representative

Stefan Botha
Name of Client representative:
Stefan Botha
Signature of Client representative:
Date: 10/05/2022

Project:
PROPOSED NEW DWELLING

Client:
Growthtime Construction Pty Ltd

Address:
PLOT 12
ERF 13547
Sillery Private Estate
Constantia
Western Cape

Drawing title:
STORM WATER PLAN

Drawing status:
COUNCIL SUBMISSION

Scale: 1:100 @ A1	Drawn by: WT
Date: 220508	Checked by: WT

Project No.:
DIA 0097

Drawing nr.:
L10_400

Rev nr.:
P1

DIA 0097_Team model Option 2_15_Arch 24.pln

SILLERY ESTATE DESIGN SUPPORT
SILLERY ERF 13547 | PLOT 12

155 ARCHITECTS AND INTERIORS PTY LTD
DATE ISSUED: 14-06-2022

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COUNCIL OF SOUTH AFRICA

